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A preliminary analysis of adaptive reuses of the former 84 Lumber Company property located at 1102 John Nolen Drive in Madison, Wisconsin for Paul Hardy, Hardy Development Company.

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A PRELIMINARY ANALYSIS OF ADAPTIVE
REUSES OF THE
FORMER 84 LUMBER COMPANY PROPERTY
LOCATED AT
1102 JOHN NOLEN DRIVE
IN
MADISON, WISCONSIN

*Landmark
Research
Inc.*

A PRELIMINARY ANALYSIS OF ADAPTIVE
REUSES OF THE
FORMER 84 LUMBER COMPANY PROPERTY
LOCATED AT
1102 JOHN NOLEN DRIVE
IN
MADISON, WISCONSIN
FOR
PAUL HARDY
HARDY DEVELOPMENT COMPANY

BY
LANDMARK RESEARCH, INC.

JAMES A. GRAASKAMP
JEAN B. DAVIS

Landmark
Research
Inc.

December 17, 1985

James A. Graaskamp, Ph.D., S.R.E.A., C.R.E.

Jean B. Davis, M.S.

Mr. Paul Hardy
Hardy Development Company
2916 Churchville Road
Churchville, MD 21028

Dear Mr. Hardy:

Enclosed is the preliminary analysis of adaptive resues of your property located at 1102 John Nolen Drive in Madison, Wisconsin. Nine potential uses were investigated; the uses judged to be most feasible are as follows:

- Warehouse - Unheated and as-is
- Warehouse - Heated and insulated
- Office - New construction over existing slab
- Office - New construction on cleared site

Research and analysis were completed for the Madison warehouse and office rental market and for vacant land listing and sale prices; the results are contained within this report.

Our preliminary analysis indicates that although use of the site for warehouse purposes is a viable interim use, the value of the property is in the land.

The size of the site is larger than average which allows for adequate on-site parking; the proximity to Lake Monona has the potential for lake views; there is a direct route to downtown Madison over the John Nolen Causeway; and the linkages to main highways are excellent. The City of Madison would like to promote the John Nolen Drive-Beltline intersection as the gateway to Madison and is attempting, through the Urban Design Commission, to enhance the visual image of this area.

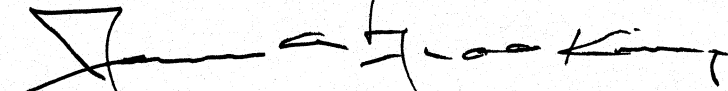
The C3L zoning does not permit non-transient residential uses and the circuitous access and low visibility of the site make retail use, which is dependent upon consumer traffic, unlikely. Although the office market is slow, but usually steady in Madison, the site offers a competitive edge with its lake views and adequate on-site parking.

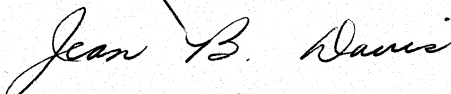
Mr. Paul Hardy
Page Two
December 17, 1985

This analysis is subject to the assumptions and limiting conditions noted throughout. Please note the listing of sources of information regarding your property found in the Appendix.

We hope these alternative courses of action and our extended discussions during the research will help you to make a final decision regarding the disposition of your property. We remain available to answer any specific questions you may have regarding this report.

FOR LANDMARK RESEARCH, INC.


James A. Graaskamp, Ph.D, SREA, CRE
Urban Land Economist


Jean B. Davis
Real Estate Appraiser/Analyst

Enclosures

elm

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I. INTRODUCTION

A. Purpose of the Study

A preliminary analysis of the property located at 1102 John Nolen Drive in the City of Madison, Dane County, Wisconsin, and known as the former 84 Lumber Company, is made for the purpose of focusing resale efforts to the most probable buyer group by identifying alternative uses which meet the preliminary tests of feasibility. Following an analysis of the legal and political constraints affecting the property, the physical and dynamic attributes of the site and improvements, and the linkages of the site, several alternative uses are suggested. The most probable of these adaptive reuses of the property are then evaluated and ranked in terms of market and financial feasibility.

B. Identification of the Subject Property

The former 84 Lumber Company, located at 1102 John Nolen Drive is also described legally as:

Lot 4, Certified Survey Map No. 2358 recorded in the Office of the Dane County Register of Deeds, April 27, 1977, in Volume 9 of Certified Survey Maps, page 234, as Document 1514547, City of Madison, Dane County, Wisconsin.

The subject site is also described as the tax parcel number 0709-361-0104-0 on the City of Madison assessment roll. The

1984 and 1985 assessment is as follows:

Land	\$200,000	or	\$1.50/SF
Improvements	<u>334,000</u>	or	\$13.97/SF based
			on the size of
TOTAL	\$534,000		the main
	=====		building

The 1984 taxes were \$13,579.89 based upon a 1984 mill rate of \$0.0254305.

This property is currently overassessed, and an informal appeal should be made to the Madison Assessor before the 1986 values are set in March or April.

II. LEGAL-POLITICAL CONSTRAINTS

A. Zoning District Requirements

The site is located in C3L district as defined by the Zoning Code for the City of Madison. All commercial and retail uses permitted and conditional uses allowed in C1, C2 and C3 districts are allowed in a C3L district except for non-transient residential uses. The statement of purpose of the C3L Commercial Service and Distribution District (Nonresidential) is as follows:

The C3L commercial service and distribution district is established to furnish a wide variety of goods, services and distribution activities. Within this district, residential development is prohibited because most of the permitted uses are not compatible with nontransient residential development. A full range of retail, service, wholesale, warehouse and distribution activities is permitted.

A listing of the permitted and conditional uses allowed for C1, C2, and C3 districts are found in the Appendix.

B. Urban Design District No. 1

The site is located in Urban Design District No. 1. The statement of purpose of the Design District is as follows:

The Urban Design District No. 1 is hereby established to make John Nolen Drive and adjacent properties, as set forth on the map hereinafter together with all information shown thereon and all amendments thereto, between Nob Hill Interchange and the Central Business District, a most visually attractive approach to Downtown Madison and to establish guidelines for aesthetically pleasing future development. Design guidelines and criteria are therefore hereby

established to assist area property owners and the State of Wisconsin, City of Madison, Dane County and the Chicago, Milwaukee, St. Paul and Pacific Railway in improving and developing all properties within this area. In addition, the District is designed to foster a sense of personal and civic pride among the property owners, and the corresponding promotion of the commercial enterprises therein.

The applicable regulations of other codes shall continue to apply with full force and effect to all properties in the above area. However, should the guidelines of this code conflict with other City regulations, the guidelines herein shall control.

The Urban Design Commission shall review and prepare recommendations for the Plan Commission on all major exterior Design District Number One, except for those existing one- and two-family detached dwellings which continue in their present use. (See Appendix for complete description of Urban Design Commission District No. 1.)

In reviewing plans for the improvement of existing facilities or new development in the area, the Urban Design Commission shall consider the following:

1. Site Planning
2. Lighting
3. Signs
4. Parking and service areas
5. Building designs
6. Screening

Although the recommendations of the Urban Design Commission to the Plan Commission could affect the cost and direction of major exterior alterations to the existing buildings, the Urban Design Commission's goal of enhancing the visual attractiveness of this major approach to downtown Madison could have a positive effect upon the future property values in the area.

In the fall of 1985, the alderperson for this area led a losing battle to down zone the subject site and its environs. The attempt was made in response to plans of a potential buyer of the subject site to use the property for a warehouse, light assembly, and distribution center. Although the outcome was favorable for the property owner, the legal fees incurred by the owner increased the property's sunk costs.

C. Wetlands Zoning and the
Department of Natural Resources

Although the subject site is located within 100 feet of the Lake Monona shoreline, the subject site is not in the City of Madison Shoreline and Wetlands Zone. Such zoning would preclude any use of the property for a marina. Any use of the shoreline and lake would come under the jurisdiction of the State of Wisconsin Department of Natural Resources (DNR). In general the DNR would oppose the construction of a mooring basin, would limit construction of the number of piers and probably would not permit dredging for a channel for craft larger than sailboats and canoes. The DNR would also be concerned about the effect of any development upon the spawning areas in the shallow shoreline, the nature of the frontage development and the amount of parking required.

III. SITE ANALYSIS

A. Size

The relatively flat triangular shaped site contains 133,643 square feet or 3.068 acres, according to Certified Survey Map No. 2358 completed January 25, 1977. (See Exhibit III-1.) There is approximately 740 feet of frontage along the private extension of the John Nolen Drive Service Road and 640.5 feet paralleling the former Chicago, Milwaukee, St. Paul and Pacific Railroad (Milwaukee Road). The property line to the north northwest measures 366.18 feet. The large site size is a positive attribute because it allows for greater parking flexibility for each alternative use.

B. Soils

Although a soil study was done by Soils Engineering, Inc. of Madison, in preparation for the 1977-1978 construction of the existing structure, the report is no longer available. Soil studies were neither made nor provided for use in this preliminary analysis of feasible adaptive reuses of the subject site. An investigation of the available information from the 1972 Dane County Soil Survey⁽¹⁾, indicates that the soils are

[1] Soil Survey of Dane County, Wisconsin, United States Department of Agriculture. The Research Division of College of Agriculture and Life Sciences, University of Wisconsin, 1972.

stable with some limitation due to a higher than average water table. Portions of Lots 1 through 3 were super-charged by Mead and Hunt in the early 1970s prior to construction of Wes Zulty's Sport Shop, 84 Lumber Co., and later, the Causeway Office Center.

The Dane County Soil Survey indicates the major soil on the subject site, described as St. Charles silt loam with a 2 to 6 percent slope, has a seasonal high water table of 3 to 5 feet. Just northwest of the site, the seasonal high water table is from 1 to 3 feet and the soil is described as Virgil silt loam, gravely substratum with 0 to 3 percent slope. (See soil map in Exhibit III-2.)

C. Utilities

Electrical service from Madison Gas & Electric Company is available from poles running parallel to the old Milwaukee Road tracks and the main warehouse has 200 amp service. There is no natural gas service on the site although the adjacent site to the northwest has this service. A 12-inch water main crosses under the railroad at the southerly tip of the site and runs parallel under the frontage street. A 2-inch water service main currently serves the property and would be considered adequate for an office use on the site.

A 15-inch corrugated metal pipe (CMP), located to the south of the main warehouse, picks up the storm water from the site and carries it to a 30-inch CMP under the rail tracks into Lake Monona. Water run-off from the asphalt parking lot is also carried into the lake via a culvert and pipe under the rail

tracks where Lots 2 and 3 converge. (See Exhibit III-1.) An 8-inch sanitary sewer main runs underground parallel to John Nolen Service Road to a manhole between Lots 3 and 4. From that point the site is served by a private sanitary sewer extension.

D. Linkages

The site is located at the intersection of U.S. Highway 12 and 18, known as the Beltline and John Nolen Drive. The Beltline which encircles the southern edge of Madison is a major link with Interstate Highways 90 and 94 to points south, east and north of Madison. John Nolen Drive connects central Madison with the Beltline. (See Exhibit III-3 for the relationship of the local state and federal highway systems to the subject site.)

The traffic counts taken in 1982 and 1983 are shown in Exhibit III-4. At least one-half of the vehicles traveling along the Beltline also pass the subject site on John Nolen Drive. East Washington Drive (not shown), which is the main eastern gateway into Madison, averaged approximately 30,000 vehicles every 24 hours off Interstate Highways 90 and 94 on the eastern edge of Madison.

With the imminent reconstruction of the eastern section of the Beltline, it is believed by many that John Nolen Drive will become the gateway into downtown Madison. Once reconstruction of the Beltline is completed in 1989, it will have little to no effect upon the site linkages except for the potential increase in traffic travelling by the site. (See Exhibit III-5 for

EXHIBIT III-3

HIGHWAY SYSTEM WHICH SERVES SITE

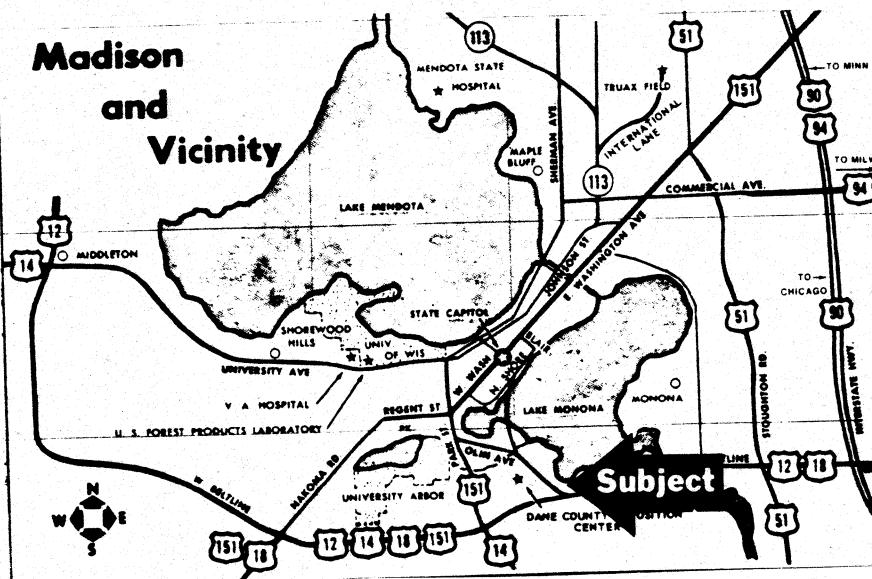
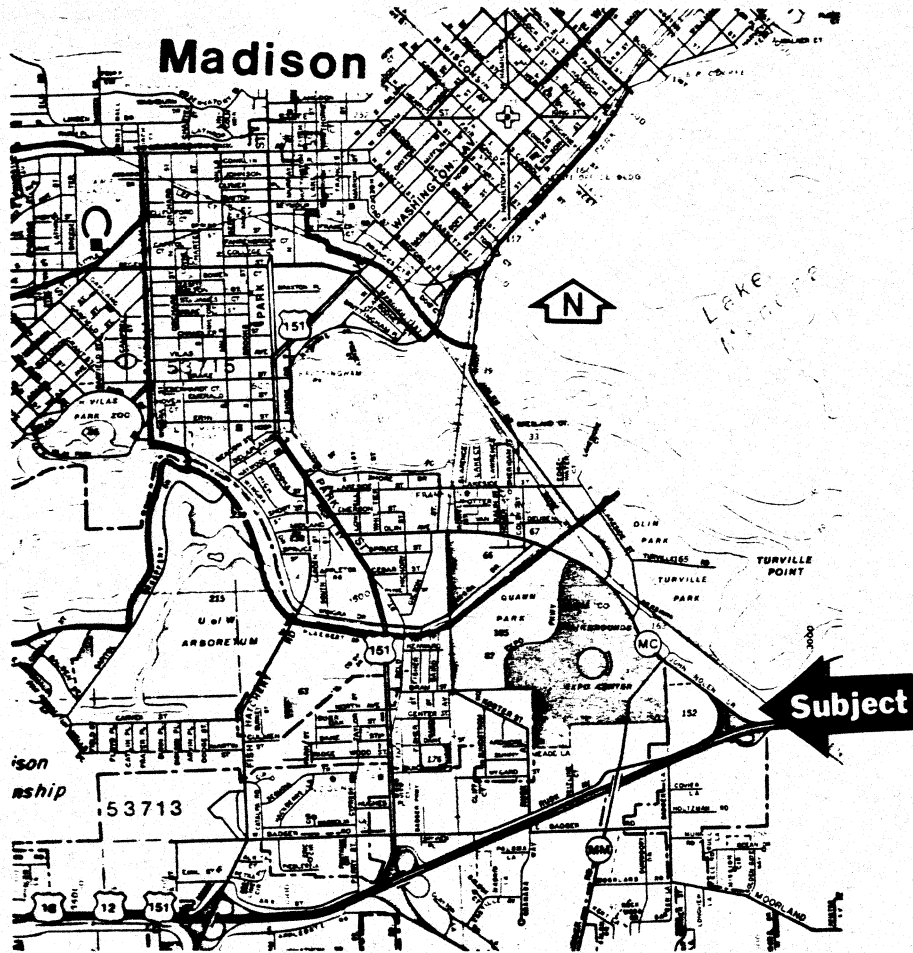


EXHIBIT III-4

TRAFFIC FLOW MAP (1982-1983)

ENDOTA

LEGEND
000 1983 TRAFFIC VOLUMES
000 1982 TRAFFIC VOLUMES
000 1983 TRAFFIC VOLUMES AFFECTED BY
CONSTRUCTION OR DETOUR
000 PREVIOUS TRAFFIC VOLUMES
000 ADJUSTED TRAFFIC VOLUMES

TRAFFIC VOLUMES SHOWN REPRESENT THE NUMBER
OF VEHICLES PASSING IN BOTH DIRECTIONS UNLESS
INDICATED BY ARROW AS ONE-WAY TRAFFIC DURING
AN AVERAGE 24 HOUR WEEKDAY

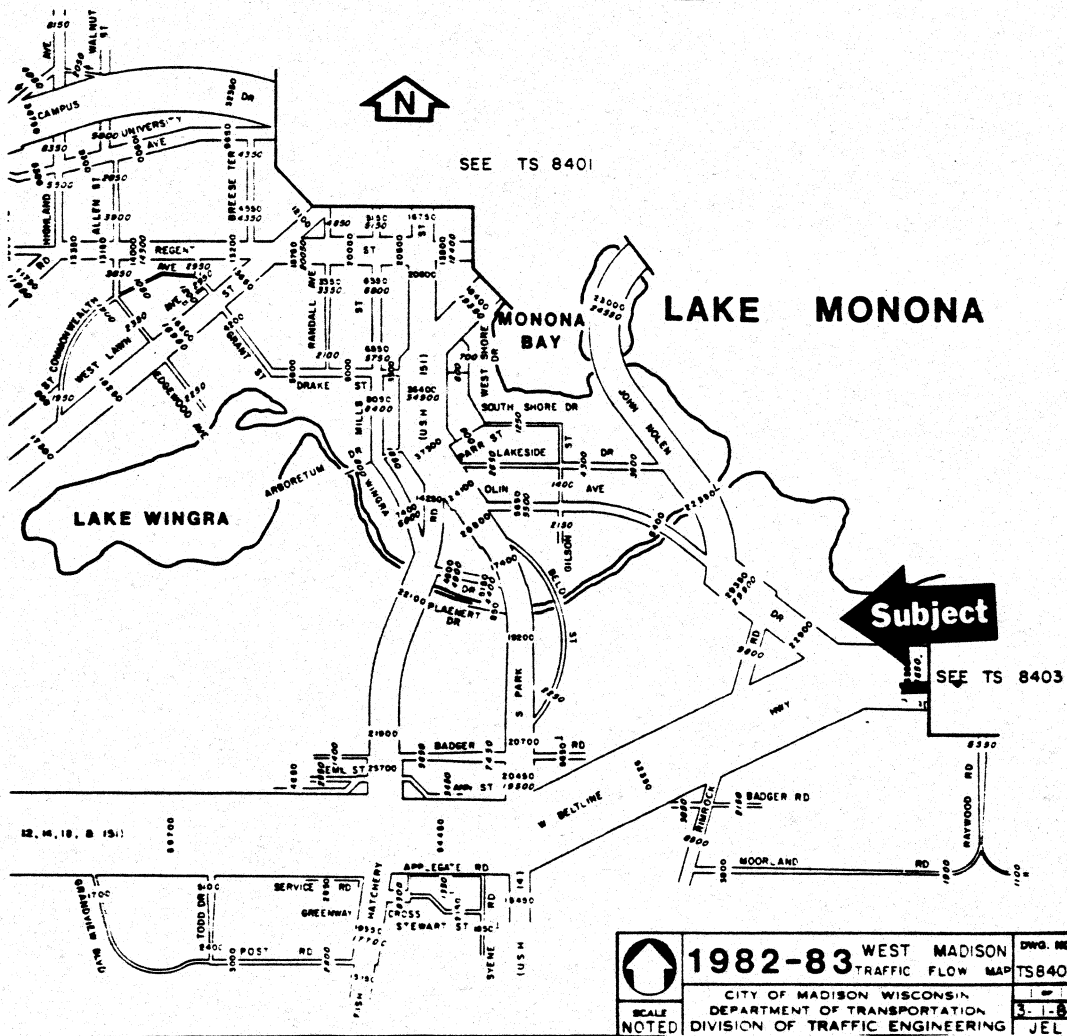
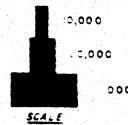
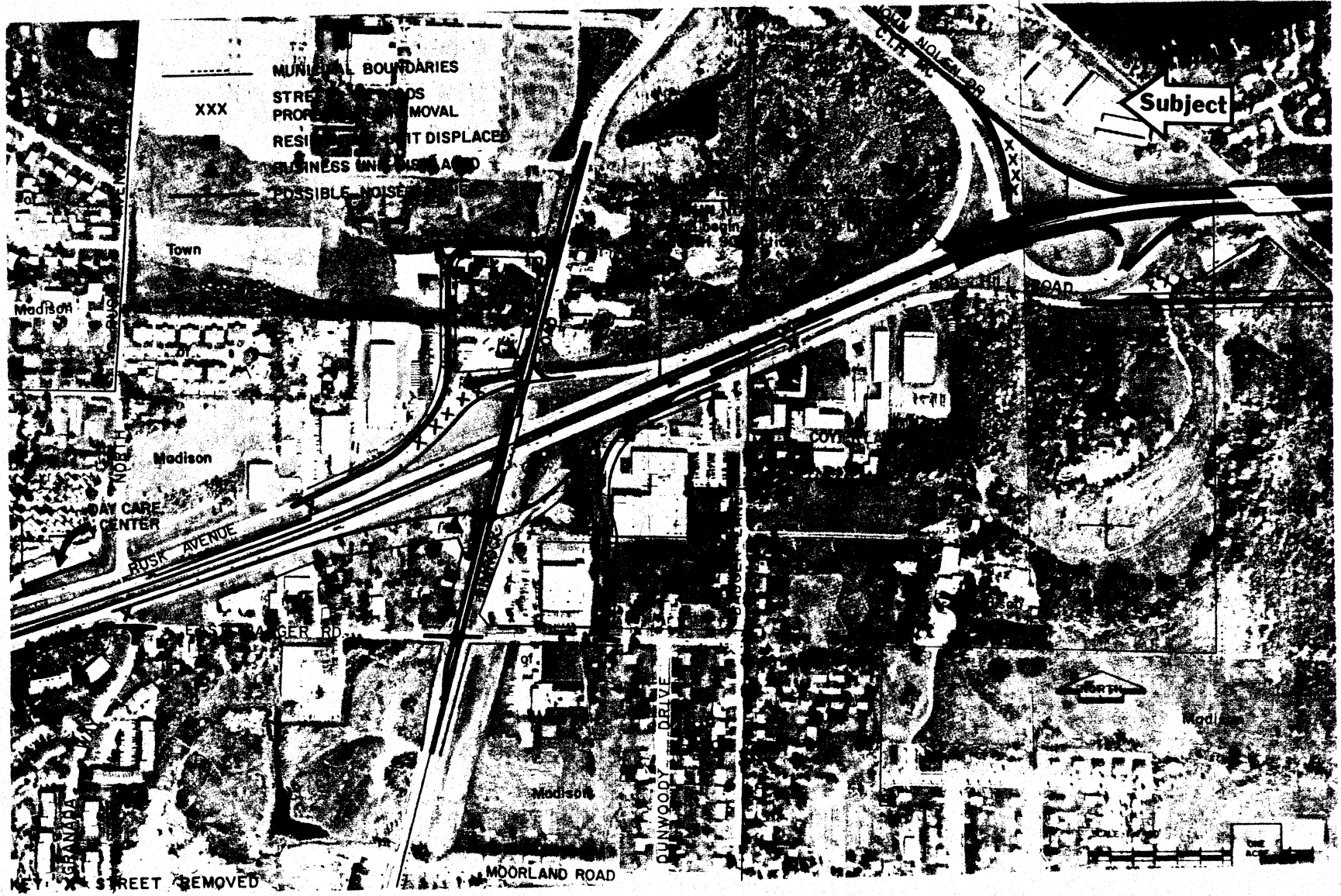


EXHIBIT III-5
RECONSTRUCTION PLANS FOR THE BELTLINE NEAR THE SUBJECT SITE



reconstruction plans to the Nob Hill-John Nolen intersection and see Appendix for timetable for Beltline reconstruction.)

Although the site is located in a high traffic area, its visibility and access are marred. The site, located in lowlands east of the elevated off-ramp from the Beltline, is not readily visible and there are no immediate clues to the traveler as to the location of access points. Vehicular traffic from the Beltline must drive to the John Nolen Drive-Rimrock Road intersection, take a right turn at the stop light and another right turn in front of the imposing Sheraton Hotel before entering the John Nolen Service Drive which leads to the site. Only this circuitous course is available to motor vehicles and the lack of sidewalks makes foot travel undesirable. A well-maintained bicycle path does pass to the west and south of the site. The railroad tracks impede direct access to Lake Monona.

A rail spur runs to the warehouse from the old Milwaukee Road railroad tracks. This railroad track originally belonged to the Chicago, Milwaukee, St. Paul and Pacific (Milwaukee Road), but when the company went into bankruptcy, the line was declared abandoned and was transferred to CMC Real Estate Corp., a holding company which presently holds very questionable title to the railroad tracks and underlying land.

According to James Thiel, attorney for the Wisconsin Department of Transportation, this section of the Milwaukee Road line from Madison to Janesville has been abandoned and there is no rail service to the site. Title to this rail property is in

limbo; it may be that expired easements for the track have now reverted to the adjacent property owners.

E. Summary

The positive and negative attributes which control reuse of the subject property are summarized in Exhibit III-6. The site lacks the visibility and the accessibility needed for retail. The larger than average size of the site would enable a developer to offer adequate parking for alternative uses. The potential lake view is also an extremely important attribute.

EXHIBIT III-6

SUMMARY OF POSITIVE AND NEGATIVE
ATTRIBUTES WHICH CONTROL REUSE
OF SUBJECT PROPERTY AT
1102 JOHN NOLEN DRIVE

POSITIVE

NEGATIVE

LAND

Size	Greater than average lot along Beltline	Limited to 3-story commercial with 30,000 SF pad and 325 parking stalls
Shape	Long perimeter for exposure to Beltline and bayshore	Irregular with loss of efficiency for building and parking
Soils	At shallow end of swamp	Soils were not supercharged before current building Only gravel pad was compacted
Access	Single driveway apron from end of cul de sac Abandoned rail spur: paved bicycle path passes in west frontage of site	Access at NW corner of site results in poor site circulation
Utilities	Sewer, water and electricity	Private sanitary sewer on-site. No natural gas to site.
Zoning	C3L	Alderperson and neighboring residents have attempted to downzone - efforts easily defeated in City Council Current warehouse structure is not popular with many in area
Visibility	Highly visible for traffic coming from east along Beltline off down ramp and onto John Nolen Drive	Concealed from view of Beltline traffic coming from east west Southbound traffic passes access road before site is visible
Views	Sweeping view of bay and Turville Park and point	Southern exposure to highway embankment and rail overpass

POSITIVE

NEGATIVE

BUILDING

Pad	Reinforced concrete floating pad or gravel bed with frost walls and piers	Expensive to demolish (remove); Insufficient to carry weight of office conversion
Structure	Pre-fab clear span steel with 24 foot floor to bottom of trusses	Deep web trusses; steel wall panels and roof panels without insulation

FITTINGS

Fire Doors	Fire exit doors every 75 feet on south wall	
Windows	Plastic window band at top of wall between trusses on both north and south walls for natural illumination	No retail windows or normal windowed office area
Garage Doors	Adequate size 3 12-foot doors facing north 1 8-foot door at spur track	No loading dock for trucks
Loading Docks	None except off rail spur	None - lack of grade to install same; water table may be too high to permit truck well
Plumbing	Two bathrooms only	Not adequate for conversion to additional occupancy density, e.g. as office use
HVAC	No positive attributes Two infra red heaters over old service counters	Building is not insulated and no HVAC system exists
Electric Service	200 ampere service to main warehouse	
Auxiliary Sheds	Thick concrete footings; stabilizes single column of cantilevered parasol roof, 2 open-sided sheds for lumber operation, potential reuse for garages	Expensive to demolish concrete footings, this area required for parking if main building increased in size

IV. ANALYSIS OF EXISTING IMPROVEMENTS

Currently, there are four vacant structures on the subject site and site improvements which include a paved parking lot, a chain link fence, and a spur track. See Exhibit IV-1 for the location of these improvements on the site.

A. Site Improvements

A blacktop parking lot, designed to serve approximately 58 vehicles. Architectural and engineering consultants from Sieger Architects report the parking lot to be in poor shape which is indicative of an inappropriate base course given the existing soil conditions. (See photos in Exhibit IV-2.) Compacted gravel was used to surface the area around the auxiliary sheds south of the main warehouse building. A chain link fence, in fair condition, which encloses the property and which has gates at the parking lot entry plus a spur track off the old Milwaukee Road track complete the inventory of site improvements.

B. Main Warehouse

The prefabricated, uninsulated steel warehouse was built in 1977-78. The concrete slab measures approximately 200 feet by 120 feet or 24,000 square feet. The enclosed building measures approximately 20,160 square feet with the remainder a 3,840 square foot open shed at the front entry of the building which had served as a covered loading dock. The height from grade to

EXHIBIT IV-1

SITE PLAN WITH EXISTING STRUCTURES

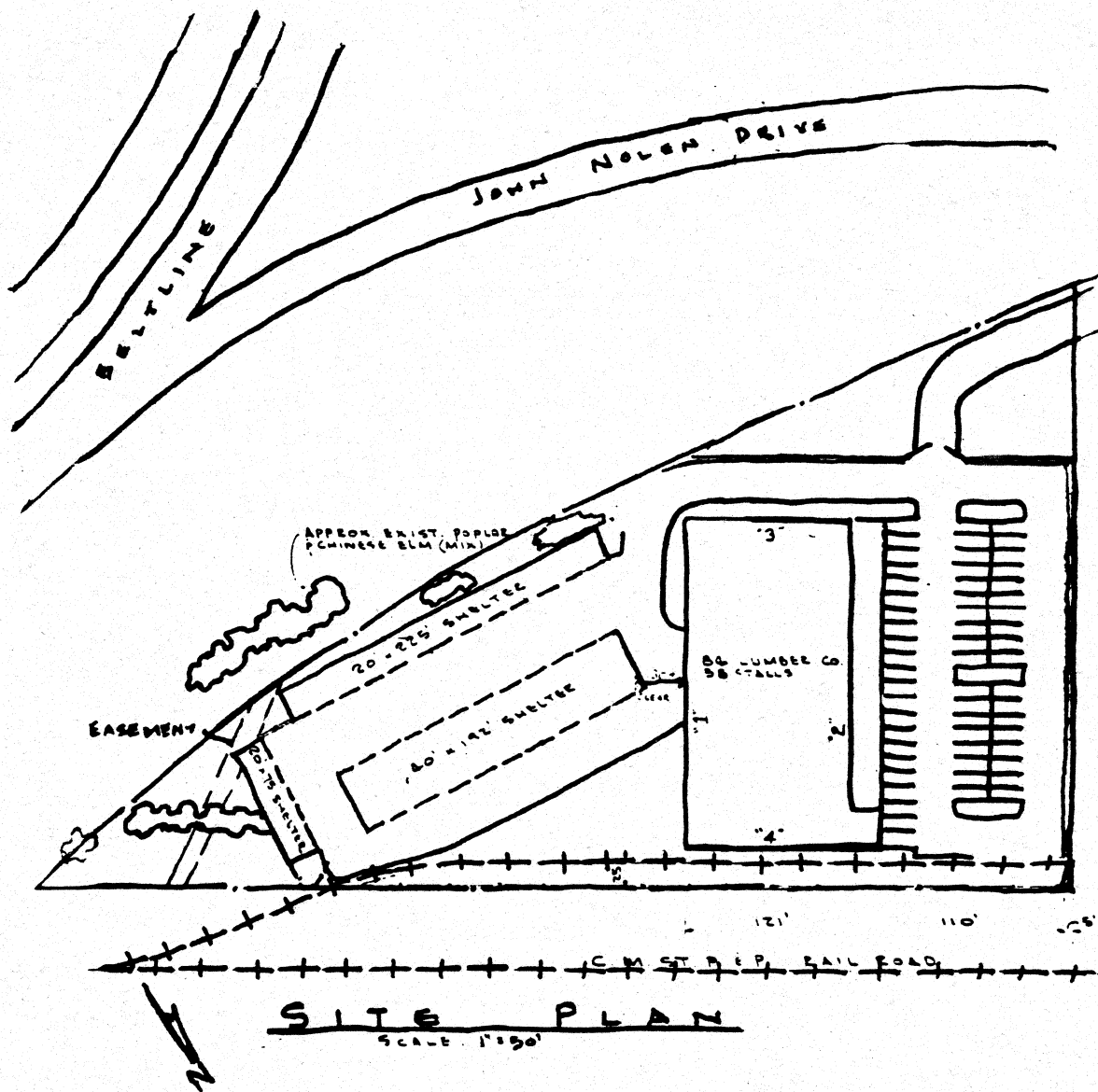


EXHIBIT IV-2

PHOTOGRAPHS OF THE SUBJECT PROPERTY



View of the subject site and improvements from
the Beltline Hwy (U.S. 12 & 18).

Note where spur track serving property
branches from main tracks and also note
Dane County Coliseum to northwest of property
and the Sheraton Hotel to the north.

EXHIBIT IV-2 (Continued)



Front entry to main warehouse.
Approximately 4,000 SF under shed roof and 20,000 SF
in enclosed building.



Parking lot in front (to north) of main warehouse.
Note chain link fence around perimeter of property.

EXHIBIT IV-2 (Continued)



South side of main warehouse. Note weed-covered spur track serving rail car height dock.



View toward west end of main warehouse with view of residual fixtures from lumber operation. Bathrooms and small showrooms/office located at far end of building.

EXHIBIT IV-2 (Continued)



View toward east end of main warehouse.
Note four overhead doors--three open onto
protected at-grade loading area to the north
and single door services rail spur track.



View of sheds and cantilevered roof storage
area. Note compacted gravel driveways and
evenly spaced concrete footings.

EXHIBIT IV-2 (Continued)



View of cantilevered roof storage area.
Note chain link fence and wooded residential
area in background.

eaves is 24 feet for the majority of the warehouse. The 20,160 square feet is a clear span warehouse with the roof structure carried on light steel trusses to support columns 25 feet on center in the perimeter wall frame.

Minimal interior finish includes both a men's and women's bathroom and residual shelving and counters remaining from the lumber operation. Photographs are shown in Exhibit IV-2, and floor and foundation plans are found in the Appendix.

The only loading dock serving the warehouse is along the spur rail track to the east; there are no truck height docks or pit docks in place for efficient loading and unloading of goods. The four overhead doors are uninsulated and of residential quality.

The foundation of the main building is only designed to support the roof and would not accomodate intermediate floors necessary to fully utilize the building's volume for any use other than storage. The floor of the building is in excellent shape and is judged by the architect/engineer to be one of the better assets of the building. However, the structural bay sizes required to support intermediate floors and an insulated energy efficient roof would necessitate partial removal of the floor to accomodate an adequate foundation system. The localized demolition of the slab could prove costly due to its thickness and highway mesh reinforcement.

The building needs to be insulated above and below grade for any alternative use other than an unheated warehouse. A major warehouse operator in Madison estimates the cost to

insulate an existing warehouse would require an added \$1.00 per square feet of rent. He strongly recommends more insulation rather than less to cut down on heat loss. Tenants who rent heated warehouse space on a triple net basis or who are owner-occupants will seek the best insulated warehouse space to minimize operating costs.

In the opinion of the consulting architect and engineer, the salvage value of the main warehouse is relatively low compared to the cost to construct. Although the structure is in good condition and the majority of the metal building is salvageable, the labor involved in its relocation would negate any potential profit.

Other potential buyers estimate the buildings may have a net salvage value of between \$25,000 to \$40,000 depending upon the buyer's cost to salvage.

C. Auxiliary Sheds

Two open metal lean-to sheds, which measure 20 feet by 225 feet and 20 feet by 75 feet, respectively, border the southern tip of the site. A steel pole-type lumber shed with a metal cantilevered roof is located near the center of the site. (See photos in Exhibit IV-2.)

Each shed is built on a heavy concrete footing which, in the opinion of the consulting architect and engineer, represent one-third and close to one-half of the cantilevered structure. The sheds have little adaptive reuse potential except possibly as storage for large vehicles and equipment in junction with a storage-distribution or vehicle and equipment rental operation.

In the opinion of the consulting architect and engineer, the auxiliary sheds could not be easily relocated; their shape and depth have limited uses, the majority of labor and materials is in the foundation, the wood purlins would probably not be salvaged for reuse on the relocated structures. Some of the structure is in poor condition and the metal siding is extensively damaged.

D. Reuse Potential of the Improvements

Given the current status of the existing improvements, the most probable use of the subject property, in its as-is condition, is for wholesale warehousing, preferably for the longer term storage of goods which could utilize the large volume of the building and which can be efficiently moved to and from vehicles by a fork lift. The building height and open-span space would allow for efficient stacking of certain sized goods stored on pallets. But there are limitations. One warehouse operator who stores empty cans for a cannery would find the 24-foot eave height approximately four feet too short for an efficient can storage operation. The lack of truck height docks also diminishes the efficiency of the property for a storage-distribution operation.

V. ALTERNATIVE USE SCENARIOS

The positive and negative attributes of the old 84 Lumber property define the parameters that control its future reuse. These attributes, summarized in Exhibit III-6, provide the basis for the development of alternative use scenarios. The most viable alternatives are analyzed further to estimate their effective market demand and financial feasibility.

A. Discussion of Alternative Use Scenarios

1. Scenario A - Continued Use of the Property as an Unheated Warehouse

Vehicles, equipment, and goods which stack efficiently on pallets are candidates for storage in this type of facility. Although access is circuitous in front of the site, it has direct access to the circumferential road system which serves as a key linkage for local wholesalers to the Madison Standard Metropolitan Statistical Area (SMSA). In turn, the Beltline, which is U.S. Highway 12 and 18, connects to highways which lead to Chicago, Milwaukee and points north and west. Frequent users will easily overcome this the problem of access. This use requires a minimum capital budget and would not be delayed by legal-political issues such as zoning and Urban Design and Plan Commission approval. The market demand for unheated warehouse space and preliminary ranking of the financial feasibility of this continuing use are critical factors in determining the viability of this scenario.

To better fit the product to the market, a buyer could add a wing to the existing building to serve as a truck height dock which could then be ramped into the main warehouse. The effect of this addition upon the visual appeal of the structure would be under the scrutiny of the Urban Design Commission and the Plan Commission. Previous potential buyers have found the Commissions' design solutions too expensive to implement and the interpretation of permitted and conditional uses regarding light manufacturing too uncertain. The Plan Commission is also reported to prefer the removal of the auxillary sheds.

2. Scenario B - Conversion of the
Existing Building to a Heated
Wholesale Warehouse and
Distribution Center

The cost to cure the lack of truck height docks plus the cost of insulating a 24-foot warehouse to create cost effective heated space make this use a riskier alternative. Any major alterations, such as the addition of truck docks, would be subject to Urban Design Commission and Plan Commission approval.

As in Scenario A, the market demand and preliminary ranking of the financial feasibility of this alternative reuse are critical tests of the viability of this alternative reuse.

3. Scenario C - Conversion of the
Existing Building to a
Self-Storage Warehouse and the
Auxiliary Sheds to Storage of
Recreational Vehicles and Equipment

The circuitous access is a disadvantage and the marketing of the facility is made more difficult by the poor visibility of the site. The efficient use of the three acre site would not be

maximized. The conversion of the existing main warehouse to a self-storage facility would not change its exterior appearance, but, as with any warehouse use, the goals of the Urban Design Commission to enhance the image of this gateway to Madison would not be advanced.

Over the last ten years the supply of self-storage facilities has grown rapidly to meet a pent-up demand, but recently investors in self-storage warehouses have grown cautious. The immediate area does not have the residential density or per capita income to support a mini-warehouse operation, given the surrounding self-storage competition. Although the central isthmus area of Madison lacks this type of facility, only a more in-depth market analysis could estimate that market demand potential for this more remote site. A more centrally located self-storage operated by U-Haul was very successful, but its space has since been converted to more needed administrative offices.

It is assumed that an investor would lease the subject property, as-is, to a mini-warehouse operator at market rates for unheated warehouses and the tenant would take both the risk of making alterations to the property and the risk of marketing. The mini-warehouse operator would need to add some type of containerization to justify the higher revenues required.

Two potential operators/buyers of the site, Ryder and U-Haul, are not currently planning to expand. But in two years Ryder will need to relocate and U-Haul may expand in Madison in three to five years.

4. Scenario D - Conversion of Existing
Building to Class C Office
Space with a Mezzanine

The consulting architect and engineer from Sieger Architects, Inc., have ruled out this use as not physically feasible. They conclude that the building frame and pad would not tolerate the weight of an insulated finish required for office use.

5. Scenario E - Conversion of the
Existing Building and Grounds to a
Canoe and Sailboat Marina

The Wisconsin DNR has jurisdiction over the shoreline and Lake Monona. It is unlikely that a marina of any economical size would be allowed to develop on the site to gain access to Lake Monona, a necessary amenity to a canoe and sailboat storage and marina operation.

6. Scenario F - Conversion of the
Existing Building to
an Indoor Sports Arena

Although the existing indoor ice hockey practice arenas have very crowded peak use periods, the market demand is uncertain over a longer time horizon of several years. The heavy capital investment in an ice arena make this use prohibitive in an uncertain market. The proximity to the Coliseum, which is the current site of ice hockey practice for some teams, is both a negative and positive attribute. The general area is known to ice hockey players so the friction to access could be easily overcome, but the competition from the Coliseum might prove overwhelming.

Indoor soccer fields are in demand in Madison, but plans are already underway to expand an existing competitive facility in a few years. Again, the use periods and therefore the cash flow are uneven unless the facility is leased to an agent who would sublet by the hour to various users. Heavy capital investment in insulation, heating and artificial turf and the uncertain market future of this use make it an unlikely alternative scenario for further consideration in this preliminary screening process.

7. Scenario G - Demolition of the Existing
Buildings and the Integration
of the Existing Concrete Slab
into the New Construction of a
One- or Two-Story Office Building

Since the existing structures have some salvage value, but are not adaptable to reuse as an office structure, demolition offers a viable alternative. It is highly probable that a well-designed structure would gain the approval of the Urban Design Commission. The construction of the Causeway Centre office condominium building on John Nolen Drive is a case in point. The consulting architect and engineer believe the soil condition would permit this alternative use. They estimate that the contribution of the useable footings and slab plus the roof superstructure would be approximately \$150,000 in cost savings.

The market and financial feasibility of this alternative use are the next critical tests.

8. Scenario H - Demolition of Existing
Buildings Including Concrete Pads
to Clear Site for New Construction of a
Low-Budget Motel with Linkages to the Sheraton

The approach zone to the subject site provides no vantage point for alerting the motorist as to where the property is or how to get there. The circuitous access from Rimrock Road and John Nolen Drive would frustrate the weary motorist. The subject site is not close enough to the Sheraton for motel guests to access the amenities of the Sheraton without some friction. The site would become the dead end to no-where to the motorist, but still close enough to the highways to hear road noise. Motel guests who drove to the Sheraton for its amenities would add to the parking congestion which already exists at the Sheraton. Poor site linkages would make this alternative use of the subject site non-competitive with sites north of the Sheraton.

9. Scenario I - Demolition of the
Existing Buildings Including Concrete
Pads to Clear Site for New Construction
of an Office Building

A new office building could be sited to take advantage of the lake views and to turn its back on the highways. A well-designed office building would most likely have the approval of the Urban Design Commission and the Plan Commission. In fact, a developer may be able to gain some city assistance to upgrade the use of this strategic site.

The access and visibility problems of the site are less of a disadvantage for office use than for a retail-motel use, although, offices which have high client traffic would be less inclined to locate at the address because of the difficulty which clients would initially have in finding their way to the site.

The site offers adequate parking, and still is within a few minutes drive of the government offices clustered around the Capitol Square.

The market demand for office space in this area and the financial feasibility of this use are critical factors in assessing the viability of this alternative reuse.

B. Screening of Alternative Uses

The alternative use scenarios which are questionable because of strong legal-political constraints, physical constraints or unstable market demand are screened from the viable alternative uses. Scenario D is not physically feasible, Scenario E has enormous legal-political hurdles and an uncertain market, Scenario F has high capital costs in an unstable market and Scenario H has site location problems that make a motel use unlikely.

The remaining uses are analyzed for preliminary market and financial feasibility.

VI. MARKET ANALYSIS AND RANKING OF FINANCIAL FEASIBILITY

Of the nine scenarios explored, only five passed the first screen for feasibility. The following alternative uses are analyzed in greater depth in terms of market and financial viability:

- Scenario A: Unheated warehouse--Continued use as-is.
- Scenario B: Heated warehouse--Insulate and install suspended gas space heaters.
- Scenario C: Unheated warehouse for self-storage--Lease to mini-warehouse operator for use as self-storage facility. Tenant responsible for all remodeling.
- Scenario G: Office on existing pad--Remove buildings and install new one- to two-story office over existing concrete slab.
- Scenario I: Office on cleared site--Remove buildings, slab and footings to build new office building on cleared site.

Scenario A, B, and C assume the highest and best use of the site is its present use as a warehouse and is dependent upon the dynamics of the Madison warehouse market. Scenarios G & I assumes that the value of the subject property is in the land value.

A. Warehouse Market--Unheated and Heated Space

1. Market Demand

The Madison warehouse market has been stable over the past few years, but Dane County employment data indicates the area has not experienced growth in industrial and wholesale employment since the mid-1970s. An improved interstate highway system has led to the closing of several chain stores' distribution facilities in the late 1970s since the Madison market then could be served by semi-truck from Chicago and Milwaukee.

Within this last year, there has been a softening of the warehouse market; some investors accustomed to small annual vacancies of less than 5 percent are experiencing larger vacancies of 10 percent for multi-tenant warehouses. Some tenants are building their own facilities and some are decreasing the amount of space rented. The smaller heated warehouse spaces of 2,500 square feet to 5,000 square feet with some office space are most marketable. Some larger warehouse spaces have experienced four to six months of vacancy before rent-up to a new tenant. Older, more obsolete structures may wait even longer for a new tenant.

The strongest market demand is for smaller heated warehouse space equipped with truck height docks. Although it may take six to nine months to find a tenant who seeks 20,000 square feet of unheated warehouse space in Madison, a well-written lease with full pass throughs to a financially stable tenant will insure a positive cash flow over the lease term.

2. Rental and Expense Data

A summary of warehouse market rents is found in Exhibit VI-1. Typical Madison market rents for heated warehouse space, usually equipped with one or more truck height loading docks, is from \$2.50 to \$3.00 per square foot. The upper range includes warehouses with finished office space and/or the landlord pays the property taxes. More typically the landlord passes through any increases in taxes and insurance premiums over a base year.

Because of the scarcity of unheated warehouses, there are few comparables available that are not owner occupied. Discussions with warehouse operators indicate that market rents for unheated space with truck height docks, are from \$1.50 to \$2.00 per square foot triple net usually with the pass through of increases in property taxes and insurance premiums over the base year.

Typical expenses for a warehouse operation are as follows:

Management fee	5% of effective gross revenue
Leasing fee	4% of effective gross revenue
Utilities (for outside lighting, etc.)	\$0.02/SF
Repairs and maintenance	\$0.10/SF
Insurance	\$0.10/SF
Real Estate Taxes	\$0.35 to \$0.40/SF

The level of the base rent is not only dependent upon the characteristics of the property, but also upon the terms of the

EXHIBIT VI-1

SUMMARY OF COMPARABLE WAREHOUSE MARKET RENTS

WAREHOUSE RENTAL COMPARABLES

LOCATION	TYPE OF CONSTRUCTION	YEAR BUILT	TOTAL SIZE OF LEASED SPACE	OFFICE	WAREHOUSE	NO. AND TYPE OF LOADING DOCKS & OVERHEAD DOORS	ANNUAL RENTAL RATE/SF/YEAR	HEATED/UNHEATED H/U	UTILITIES	RESPONSIBILITY FOR PAYMENT OF R.E. TAXES	PROVISION FOR ANNUAL ADJUSTMENT OF RENT
2009 S. Stoughton Rd.	Steel		25000	Varies among tenants: 800-1250 SF each	Varies	10-Overhead doors	whse-\$3.00 off-\$6.00	H	Tenant	Tenant over base year	4% with pass through of taxes above base year
2021 S. Stoughton Rd.		1985	2500	1250	1250		whse-\$3.50 off-\$6.50	H	Tenant	Tenant over base year	Tenant pays insurance over base year; Specifically built for tenant
South of Main Appliance S. Stoughton Rd. (Motorola Communications Distributor)		1985	2400	800	1600		whse & off-\$4.00	H	Tenant	Tenant over base year	Tenant pays insurance over base year; Owner paying for office finish
2122 S. Stoughton Rd.			7300	1250	6050		whse-\$3.00 off-\$6.00	H	Tenant	Tenant over base year	
4625 Pemrite	Steel/Masonry		16250	0	16250	13-Overhead doors	2.50	H	Tenant	Owner	
2823 Index Rd.	Steel		10800	800	10000	3-Overhead doors 2-dock level	2.75-2.90	H	Tenant	Owner	2.5 to 5 yr. lease, year 2-5 rent increases to \$2.90/sq.ft.; increase in r.e. tax is passed through over base year
901 Watson	Steel	1964	58080	14520	43560	3-dock level	whse-\$2.95 off-\$4.00	H H	Tenant	Owner	Most are annual leases, negotiable each year
2402 Advance Rd.	Steel	1983	10000	0	10000	1-Overhead doors	2.40	H	Owner	Owner	Lease term negotiable
4609 Pemrite	Steel	1973	6000	1200	4800	1-Overhead doors	(asking) 2.30		Tenant	Tenant	or \$2.03/SF Month to month lease
615 Mayfair	Steel	1978	12150	0	12150	2-dock level	1.90	H	Tenant	Tenant	
929 Watson	Brick	1979	14684	1598	13086		2.91	H	Tenant	Tenant	Ten year lease with two-5 yr. options with cost of living increase
2201 Darwin Rd.	Steel	1977	14000	600	13400	6-dock level	2.50 2.50 1.90	H	Tenant Tenant Tenant	Tenant over base year Owner Tenant	None Annual increase based on CPI Annual increase based on CPI
2601 Seiferth	Steel	1971 1976	12053 7120	1160	18013	12-dock level	2.50	H	Tenant	Owner	In 1985 increase to \$2.62/SF
625 Mayfair	Steel	1973	30000	1456	28544	3-Overhead doors	0.90	H-office U-warehouse	Tenant	Tenant	Annual increase based on CPI Tenant reimburses for insurance
2955 Packers Ave.	Metal	1948	32200	820	31380	7-Overhead doors	1.28 1.30 1.52	H H H	Tenant Tenant Tenant	Tenant Tenant Tenant	Annual increase based on CPI Annual increase based on CPI Annual increase based on CPI
	Concrete		2640	600	2040	1-Overhead doors	2.26	H	Tenant	Tenant	5% annual increase

lease. In all cases reviewed by Landmark Research, Inc., the tenant paid for all utilities with the exception of minimal lighting of the parking area. Usually, increases in real estate taxes and insurance premiums over a base year are passed through or, in some cases, the tenant is responsible for all property taxes and insurance premiums. Management fees, leasing fees and structural repairs are usually the responsibility of the landlord.

In general, expenses are approximately 30 to 35 percent of base rent. If the landlord pays the property taxes, the rent must include the landlord's best estimate of that expense. Ideally, the landlord wants to shift the risk of variance in expenses to the tenant so it is to his advantage to provide for a periodic inflator to the base rent and to shift all expenses, except for management and leasing to the tenant.

B. Office Market--New Construction on
Existing Concrete Slab or on
Cleared Site

1. Market Demand and Rental Data

The Madison office market has been soft over the past few years except for Class A space which is characterized by adequate elevator service, integrated parking ramps, modern design, an attractive lobby, and well-appointed interiors. Vacancy has been at less than 1 percent in 1985 for this type of quality office space and rents ranged from \$11.50 per square foot to \$17.50 per square in downtown Madison. Parking stall rents are from \$40 per month to \$64 per month.

Office buildings located along the Beltline and John Nolen Drive would be more competitive with the subject site. Many of these buildings are either totally owner-occupied or have only a small amount of rental space available. Except for newly constructed office buildings, vacancies in this area are low. The new Landmark Building reports 16 percent vacancy and Executive Management, Inc.'s (EMI) new buildings in South Towne are renting up rapidly. EMI's Building No. 1 is fully rented; Building No. 2, recently completed, is 75 percent leased, and Building No. 3, just beginning construction, is 50 percent leased. The Landmark Building and the South Towne Buildings offer quality suburban office space. Sergenians, with 16 percent vacancy, is walk-up office space built over retail and lacks the quality of the newer buildings. Rents range from \$6.00 per square foot at Whalen's Transfer to an asking rent of \$12.00 per square foot at the Causeway Centre on John Nolen Drive. Madsen, Inc. is asking \$9.00 per square foot for their recently purchased office buildings along the Beltline; the terms require the tenants pay all utilities, property taxes and janitorial services which come to approximately \$4.00 per square foot. The market rents found along the Beltline Highway are summarized in Exhibit VI-2.

A steel office building located at the intersection of the Beltline (Broadway Avenue) and Stoughton Road rents small spaces to multiple users. A summary of rental data for this building is found in Exhibit VI-3. These two surveys of market rents set

SUMMARY OF COMPARABLE OFFICE MARKET RENTS ALONG BELTLINE

EXHIBIT VI-2

OFFICE RENT SURVEY - BELTLINE HIGHWAY

LOCATION	YEAR BUILT	TOTAL NET RENTABLE OFFICE AREA	NRA VACANT SF	% Vacancy	CURRENT RENTAL RATE/SF	UTILITIES	R.E.TAX	JANITOR	TENANT IMPROVEMENT
COBE Bldg. 2001 W. Beltline Hwy.		NA	this lease from 6/85: 2065	NA	11.00 (6% annual increase)	Owner	Owner	Owner	\$2,000 allowed
In summer 1985, Madsen purchased 5 bldgs.: CORE, Zerox, Mortenson, WNW (now Vantage Point), plus one more bldg.; Former owner was Metropolitan Bldg. Partnership		COBE has 1200 SF vacant MANG has 8000 SF vacant			Asking 9.00	Tenant Expenses	Tenant are about	Tenant \$4.00/SF	Unknown with new ownership
Reliable Bldg. 3312 W. Beltline Hwy.		39000	0	0%	11.00	Owner	Owner	Owner	
One Landmark Bldg. W. Beltline Hwy.	1985	50000	8000	16%	10.00	Tenant Expenses are \$4.00/SF; Heat is electric.	Tenant	Tenant	No price structure within bldg.
Serginian's Bldg. 2805 W. Beltline Hwy.		25000	4000	16%	7.50 - 9.00	Owner	Owner	Owner	Price structure within bldg.
IDS Bldg. 113 - 117 W. Beltline Hwy.	1965	NA	6000	NA	7.64 (no escalation in lease)	Tenant	Owner	Tenant	Tenant put in some improvements in 1984 at his expense & negotiated a 3 yr. lease when he realized ownership was to change
WI Education Ass'n. Council 101 W. Beltline Hwy. (WEA owns the building)			only a small part of bldg.		6.75	Owner	Owner	Owner	Annual lease with long-time tenant is negotiated on informal basis
ByCite Corp. (tenant) 340 Coyier Lane		20000	NA	NA	Would not reveal rate Annual % increase	Tenant	Owner	Owner	Building is owned by a principle owner of this corporation; 3 yr. lease from 1983
Southtowne Office Park	Bldg. 1: Bldg. 2: Bldg. 3:	1984 16400 1985 16400 1986 16400	0 4100 8200	0% 25% 50%	9.50 - 10.75 5% annual escalator 3 yr. lease min.	Owner	Owner	Owner	Bldg. 3 construction to start 12/85
Whalen Transfer 69 W. Beltline Hwy.		4400 (4 off. - 1100)	0	0%	6.00	Owner	Owner	Owner	Bldg. in process of being sold with closing 12/85; Leases are mo.-mo.
Causeway Centre 900 John Nolen Dr.	1983	NA	2500	NA	Asking 12.00	Tenant	Owner	Owner	Negotiable on tenant improvements; bldg. is office condominiums with owner/developer renting out unsold units

SUMMARY OF OFFICE RENTS IN STEEL BUILDING EAST OF
SUBJECT SITE ON BROADWAY AVENUE AND STOUGHTON ROAD

6414 COPPS AVE.

TENANT SUMMARY

Tenant	Phone	Sq.Ft.	Rent/sq.ft.	Rent/Mo.	Lease term
Engelberth, Inc. regional office	222-6350	380-400	\$5.38	\$175	Mo.-Mo.
Farm Loan Serv. Inc. auction services statewide organization	222-9119	NA	NA	\$2,000	Mo.-Mo.
Fleet Mtg. Corp. advantageous to be near highways	221-2044	NA	NA	\$275	Mo.-Mo.
Newark Electronics location not so important	221-4738	500	\$10-11	NA	Annual
Preferred Risk Ins. 4 yrs. in place; near home	222-0423	330	\$9.45	\$260	Mo.-Mo.
Progressive Benefits easy access; cost was in budget; may be looking for space with more privacy	221-4778	140	\$7.29	\$85	Mo.-Mo.
Robinson, C.H. Co.	221-5400	1000	\$7.00	\$583	NA
Wallace Computer Services N.Y. Stock Ex. Co.; sells business forms; upstairs location; negotiated a new lease before new ownership occurred; only way they would stay was to have new carpet & walls and take a 3 yr. lease; considers space best in bldg.	221-2656	850	\$7.50	\$531	3-yr. from 5/85
Ruan Leasing Corp. Has been there 5 yrs. Near tank farms by McFarland, good access	221-0220	1570	\$7.64	\$1,000	Annual, from 12/84

New ownership as of 9/18/85; Milt Motzkus, area manager, for Public Storage Rental Space; Bldg. organized in pods of 130 SF (11 x 12); Common area includes kitchen and eating area; a secretarial pool, telephone answering service, and copy machine available at a charge to all tenants; 80% occupied, asking \$7.85/SF with utilities, janitor service, taxes included in price; price differential within building; total of 24,000 SF

the ceiling and the floor for office rents in the general market area served by the subject site.

The lease-up time for a Madison office building is sensitive to many variables; Dane County does not have the rapid economic growth to keep demand always ahead of supply. Instead much more entrepreneurial skill is required to create a successful office project. The price and the design must be competitive because most tenants will be lured away from existing space they have outgrown or want to upgrade; the marketing effort must be an active one; and the on-going management sensitive to tenant needs. The steady leasing-up of new, price competitive space in the area indicates there is a market for office space for the developer who can carry an active pre-leasing and marketing program.

2. Office Expense Data

Depending upon the terms of the lease and the buildings efficiency, the expense ratio for office buildings ranges from 40 percent to 50 percent of gross revenue. Since the owner most frequently pays the utilities, the expense ratio is sensitive to the energy efficiency of the building.

Office expenses usually include the following costs: janitorial, repairs and maintenance, insurance, elevator maintenance, security, advertising, legal/accounting, property taxes, utilities, and management/leasing fees. A recent

suburban office study in Madison resulted in the following generalizations for average office expenses:

Utilities	\$1.00/SF
Property taxes	\$1.35/SF
Maintenance & repairs	\$1.50/SF
Janitorial	\$0.50/SF
Insurance	\$0.10-0.20/SF
Management & leasing	5-10% of effective gross revenue

C. Vacant Land Market Near
Subject Site

A survey was made of vacant sites currently on the market and located near the subject site. Assuming a buyer will pay no more than the asking price for a property; unless a bidding war can be instituted by the seller, listing prices suggest a ceiling on land prices in the area. In this case, sites have been on the market for several months to several years. (See Exhibit VI-4 for listings.)

The most comparable land sale is for the site of the Causeway Center office condominium building located near the subject site at 900 John Nolen Drive. The range in selling prices is from \$2.50 per square foot to \$2.75 per square foot for commercial sites zoned C3L sold in 1983 and 1984. The potential lake views that can be captured from this site, the surplus land that can offer much needed, convenient on-site parking, the proximity of large enterprises such as the Coliseum and the Sheraton Hotel, and the direct route from the site to downtown Madison put this site on the upper-end of the market for vacant sites in this area, (see Exhibit VI-5 for comparable land sales in the area.)

EXHIBIT VI-4

LISTING OF VACANT LAND FOR SALE IN AREA

VACANT SITE LISTINGS - BELTLINE AREA

ADDRESS	SITE SIZE		LISTING PRICE	PRICE/SF	COMMENTS	Source
	ACRES	S.P.				
803 E. Beltline	2.38	103,774	\$165,000	\$1.59	Landlocked site; may be remedied once new highway is completed.	D.L. Evans Co., David Heilman
76 W. Beltline	1.91	83,215	\$145,626	\$1.75	Access may be problem; marshy at back & fill may be required; on mkt. since 1982	Opitz Realty, K.C. Opitz
725 John Nolen Dr.	0.64	27,792	\$59,000	\$2.12	Share a drive with Stark Realty; gently sloping triangular site; 1985 assessment \$37,500 (\$1.35/SF)	Stark Realty, John Fingerson
Rusk Ave. - east of Rusk/Rimrock intersection	2.79	121,473	\$303,683	\$2.50	Smaller parcel fronts on Rusk; access not good; on the mkt. for several years; low visibility	Time Realty, Erv Larson
	4.70	204,525	\$664,706	\$3.25		
Nob Hill	51.60	2,247,696	\$1,775,000	\$0.79	This includes a restaurant with liquor license; can be subdivided into 2-3 parcels; 20 acres is conservancy	Mardi O'Brien Realty, Pat Schermack
	31.60	1,376,496	\$1,775,000	\$1.29		

EXHIBIT VI-5

COMPARABLE LAND SALES NEAR BELTLINE AND SOUTH MADISON AREA

VACANT SITE SALES - BELTLINE AREA

ADDRESS	SITE SIZE ACRES	SF	DATE OF SALE	PURCHASE PRICE	PRICE/ SF	ZONING	REMARKS
900 John Nolen Drive	1.80	78,457	2/84	\$216,000	\$2.75	C3L	Purchased by Roe and Huset for construction of Causeway Office Center
1325 Applegate	1.04	45,325	9/83	\$112,000	\$2.47	C3L	Purchased by Ahrens Cadillac- Oldsmobile, Inc.
1333 Applegate	1.04	45,265	9/83	\$116,000	\$2.56	C3L	Purchased by Ahrens Cadillac- Oldsmobile, Inc.
1301 Greenway Cross	0.75	32,799	2/84	\$87,275	\$2.66	C3L	Purchased by Obert L. Bauer
1317 Greenway Cross	0.82	35,788	10/83	\$90,000	\$2.51	C3L	Purchased by Obert L. Bauer

VACANT SITE SALES - SOUTH MADISON AREA

805 Plaenert	1.45	63,000	7/84	\$110,000	\$1.75	MI	Purchased by B.J. Electric Supply Co. for Warehouse- distribution
3121 Syene Road at Watson Road	1.23	53,571	7/81	\$80,400	\$1.50	C3L	Purchased by Kramer Business Services, Inc. - still vacant
4492 Robertson Road	2.26	98,600	1/82	\$98,600	\$1.00	MI	Purchased by Frito-Lay, Inc., for warehouse-distribution
925 Watson Avenue	1.16	50,485	5/82	\$69,700	\$1.38	MI	Purchased by JHS Investments

D. Preliminary Ranking of Alternative Uses

To rank the financial feasibility of alternative warehouse and office uses, a preliminary estimate is made of the revenue each use could generate, based upon prevailing market rents for similar properties.

1. Warehouse Use

If the subject warehouse was fully leased as unheated space for a storage and distribution center or to a self-storage operator at a generous base rent of \$2.00 per square foot with a 30 percent expense factor, the resulting net operating income (NOI) would be \$1.40 per square feet. Because the warehouse would be rented on an as-is basis, there would be no capital costs incurred by the landlord.

If the subject property was fully leased as insulated and heated warehouse space (with no office space) at a generous \$2.75 per square foot, a 30 percent expense factor would result in an NOI of \$1.93 per square foot.

To insulate and heat the warehouse would require a minimum capital cost of \$20,000 to \$25,000 according to the Marshall Valuation Service, a national computerized cost estimation service.

2. Office Use--New Construction on
Existing Slab or on Cleared Site

The existing concrete slab would support a new two story office building which would have approximately 15,000 square feet of gross building area (GBA) on each floor with a total of 171

surface parking stalls available on the site. The building, designed to be 90 percent efficient, would have approximately 27,000 square feet of net rentable area (NRA). (See Exhibit VI-6 for the architect's sketch of the site plan). The parking ratio would be greater than 6:1, based upon one stall per every 1,000 square feet of NRA. The Urban Land Institute (ULI) recommends a parking ratio of 3.5:1 as minimum and 4:1 as the norm.

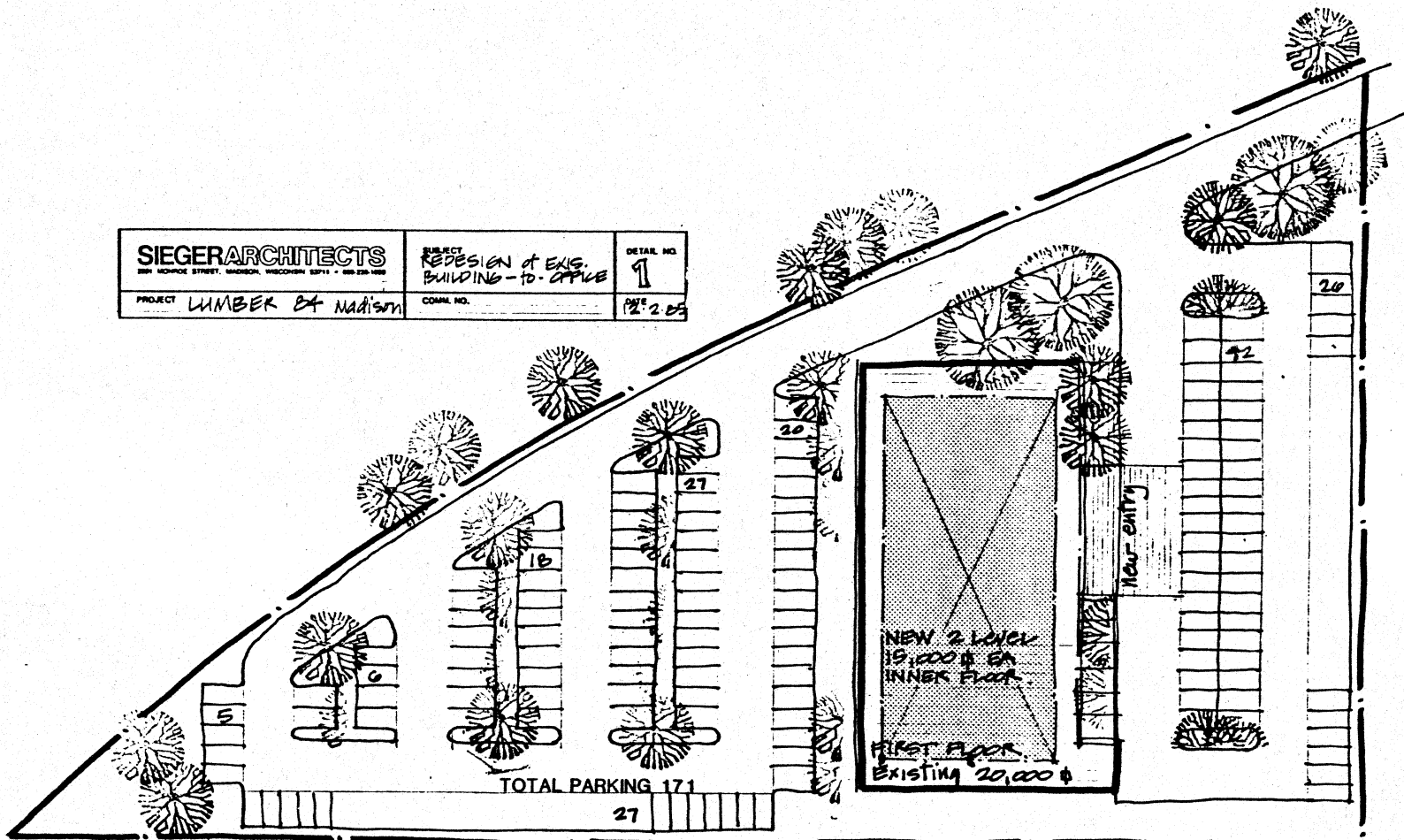
According to the architect, there would be a construction cost savings of \$4.90 per square foot by utilizing the existing concrete slab, footings and roof superstructure.

If the office building was fully leased at \$11.00 per square foot with a 45 percent expense ratio, the resulting NOI would be \$6.05 per square foot.

Alternatively, if the site was cleared, it is assumed the salvage value of the metal buildings would cover the cost of demolition and site clearance. The consulting architect recommends the lake views be captured in a newly constructed tiered structure consisting of 57,000 square feet of GBA with 190 parking stalls on the site. (See Exhibit VI-7 for the architect's sketch of the site for the redevelopment of the cleared site). The building, which is designed to be 90 percent efficient, would have approximately 51,300 square feet of NRA. The parking ratio of 3.7:1 would meet ULI minimum standards and would meet Madison zoning requirements of one stall for every 300 square feet of NRA.

EXHIBIT VI-6

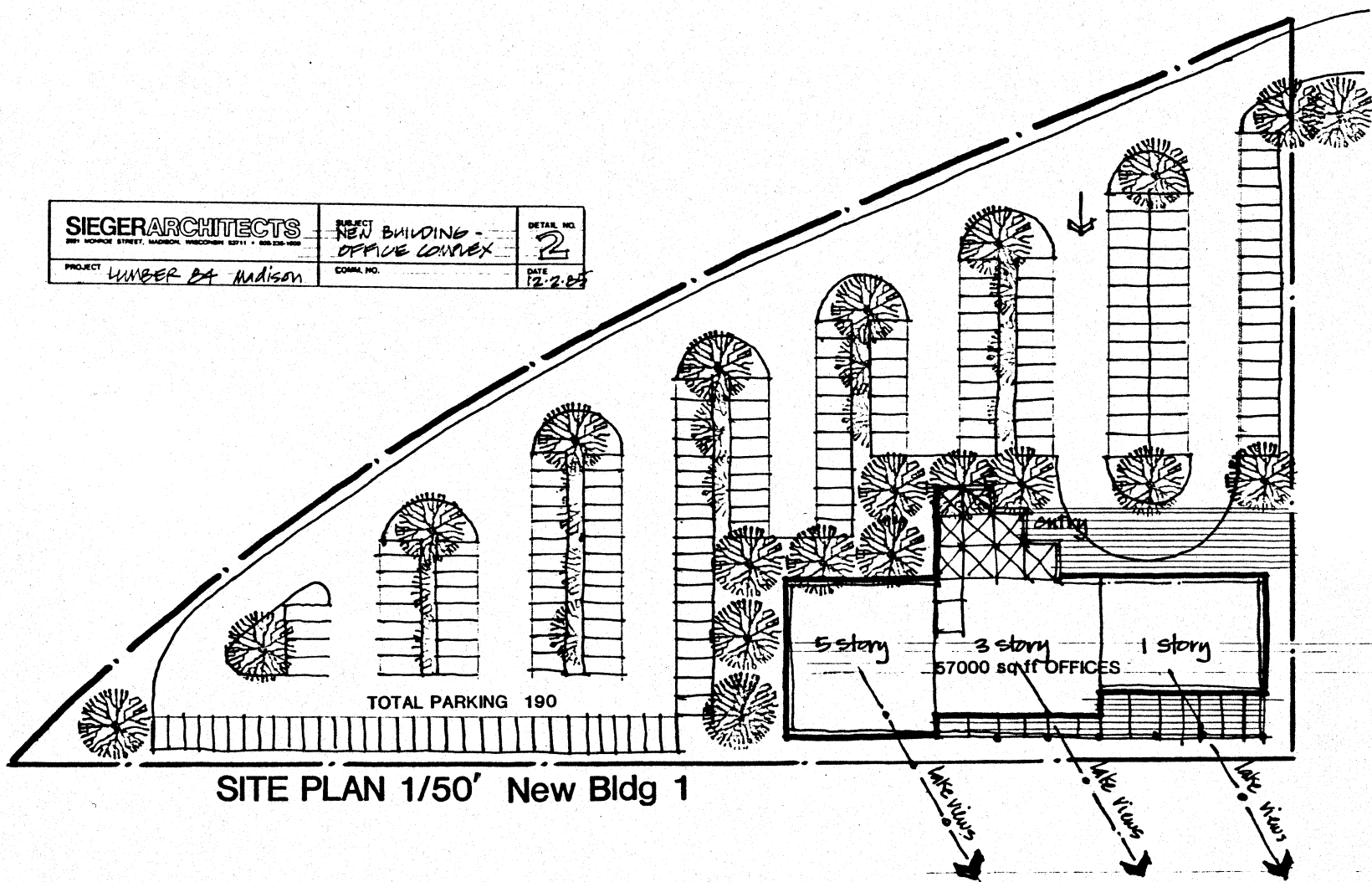
PRELIMINARY SKETCH OF SITE PLAN FOR OFFICE ON EXISTING SLAB



SIEGERARCHITECTS <small>201 WISCONSIN STREET, MADISON, WISCONSIN 53711 • 608.231.1800</small>	PROJECT REDESIGN OF EXISTING BUILDING - 10- OFFICE	DETAIL NO. 1
PROJECT LUMBER & NAISON	CONTRACT NO.	DATE 2.25.89

SITE PLAN 1/50' Redesign existing Bldg

PRELIMINARY SKETCH OF SITE PLAN FOR OFFICE ON CLEARED SITE



If the office building was fully leased at \$12.50 per square foot, which is at the upper end of the Madison market for this area, with an expense ratio of 45 percent, the resulting NOI would be \$6.88 per square foot.

3. Back-Door Analyses

A computer program designed to screen and rank real estate investment opportunities, and which is described as back-door analysis, is used to estimate a justified project value for each of the alternative uses for warehouse and office when the revenue, expense, financing, and equity parameters are given. The revenues and expenses, unique to each use, have been defined in the preceding discussion. Financing and equity requirements are as follows:

Warehouse Use-Unheated and Heated

Interest	11.5%
Debt Cover Ratio	1.30
Cash on Cash Return	10%

Office Use-On Existing Slab or On Cleared Site

Interest	11.5%
Debt Cover Ratio	1.15
Cash on Cash Return	6%

The vacant land value, assumed for comparative purposes in the analysis, is supported by the purchase price of the land for the nearby Causeway Center office condominium building in 1984 at \$2.75 per square foot, a current minimum value of \$367,500. A back-door analysis is done for each of the four alternative uses with the results summarized in Exhibit VI-8. (See Appendix for logic of back-door analysis methodology.)

SUMMARY OF BACK-DOOR ANALYSES TO RANK PROJECT FEASIBILITY

SUMMARY OF BACK-DOOR ANALYSES

PROPOSED USE	BASE RENT	EXPENSE RATIO	DEBT COVER RATIO	INTEREST AND TERM	CASH ON CASH REQUIRED	SUPPORTABLE MARKET VALUE OF VACANT SITE	JUSTIFIED PROJECT VALUE	ALLOWANCE FOR CONSTRUCTION	
Unheated Warehouse (No office) (20,160 SF - NRA)	\$2.00/SF	30%	1.30	11.5%	10%	\$367,500	\$243,124	Negative	
Heated Warehouse (No office) (20,160 SF - NRA)	\$2.75/SF	30%	1.30	11.5%	10%	\$367,500	\$334,296	Negative	
New Office on Existing Slab (27,000 SF - NRA) (30,000 SF - GBA)	\$11.00/SF	45%	1.15	11.5%	6%	\$367,500	\$1,519,626	\$1,152,126 \$38.40/SF 4.90/SF	- credit for existing slab and roof superstructure
New Office on Cleared Site (51,300 SF - NRA) (57,000 SF - GBA)	\$12.50/SF	45%	1.15	11.5%	6%	\$367,500	\$3,281,006	\$42.90/SF \$2,913,506 \$51.11/SF	

VII. CONCLUSION

Based upon an analysis of the most probable uses of the subject site and of the Madison rental market, it is concluded that the primary value of the subject property is its land value. The justified project value that can be realized from the revenue generated from the existing structure, either unheated or heated, is less than the value of the cleared site.

New construction of an office building on the existing concrete slab limits the size, orientation, and the design potential of new office space. However, an optimum office design exploiting the lake views, would depend upon the removal of the existing slabs and footings. The cost of removing the concrete could be offset by the salvage value of the steel buildings. This would allow for new construction which could maximize the lake view, create a prestigious entry, have greater flexibility for office design and site density, and thereby command top market rent in the area.

A summary of the results of the back-door analyses is shown in Exhibit VI-8. Each scenario assumes full occupancy, top market rents, financing currently available and are arrayed for comparative purposes to rank project feasibility.

Although an investor who purchases this property may have an interim use for the warehouse, the underlying value is in the land and its potential reuse. As a result of the reconstruction

of the Beltline Highway, due to be complete in 1989, and the goal of the City of Madison to make John Nolen Drive the gateway into Madison, the underlying land value should not only remain stable, but it has the potential for future appreciation as land uses in the area are upgraded.

STATEMENTS OF GENERAL ASSUMPTIONS AND
LIMITING CONDITIONS

1. Facts and Forecasts Under Conditions of Uncertainty

- . Inferences of market demand which combine census data estimates and parameters generated from survey research are always subject to an unknown degree of error due to the time differences in underlying economic conditions and other circumstances as well as variations in definitions and research frame of reference of the two types of study inputs.
- . Primary survey research is always subject to an unknown bias in sample selection as well as potential bias in the nature of the response and non-response rates from different segments of the sample population. Traditional statistical tests of statistical inference are not considered appropriate.
- . The presentation and analysis of data in this report has been done in a craftsmanlike manner, but the results suggested are only intended to scale the potential market opportunity since ultimate achievement is conditional on so many intervening factors both within and beyond the control of the developer.

2. Control of this Market Report

- . All information regarding property sales and rentals, financing, or projections of income and expense is from sources deemed reliable. No warranty or representation is made regarding the accuracy thereof, and it is submitted subject to errors, omissions, change of price, rental, or other conditions, prior sale, lease, financing, or withdrawal without notice.
- . Information regarding property sales and rentals, financing, or projections of income and expense is from sources deemed reliable. No warranty or representation is made regarding the accuracy thereof, and it is submitted subject to errors, omissions, change of price, rental, or other conditions, prior sale, lease, financing, or withdrawal without notice.
- . Information furnished by others in this report, while believed to be reliable, is in no sense guaranteed by these analysts.

- . Possession of this report or any copy thereof does not carry with it the right of publication nor may the same be used for any other purpose by anyone without the previous written consent of the analysts or the applicant, and in any event, only in its entirety.
- . Neither all nor any part of the contents of this report shall be conveyed to the public through advertising public relations, news, sales, or other media without the written consent and approval of the authors, particularly regarding the market conclusions, and the identity of the analysts, or of the firm with which they are connected or any of their associates.

J A M E S A . G R A A S K A M P

PROFESSIONAL DESIGNATIONS

SREA, Senior Real Estate Analyst, Society of Real Estate Appraisers

CRE, Counselor of Real Estate, American Society of Real Estate
Counselors

CPCU, Certified Property Casualty Underwriter, College of Property
Underwriters

EDUCATION

Ph.D., Urban Land Economics and Risk Management - University of Wisconsin
Master of Business Administration Security Analysis - Marquette University
Bachelor of Arts - Rollins College

ACADEMIC AND PROFESSIONAL HONORS

Chairman, Department of Real Estate and Urban Land Economics,
School of Business, University of Wisconsin
Urban Land Institute Research Fellow
University of Wisconsin Fellow
Omicron Delta Kappa
Lambda Alpha - Ely Chapter
Beta Gamma Sigma
William Kiekhofer Teaching Award (1966)
Urban Land Institute Trustee

PROFESSIONAL EXPERIENCE

Dr. Graaskamp is the President and founder of Landmark Research, Inc., which was established in 1968. He is also co-founder of a general contracting firm, a land development company, and a farm investment corporation. He is formerly a member of the Board of Directors and treasurer of the Wisconsin Housing Finance Agency. He is currently a member of the Board and Executive Committee of First Asset Realty Advisors, a subsidiary of First Bank Minneapolis. He is the co-designer and instructor of the EDUCARE teaching program for computer applications in the real estate industry. His work includes substantial and varied consulting and valuation assignments to include investment counseling to insurance companies and banks, court testimony as expert witness and the market/financial analysis of various projects, both nationally and locally, and for private and corporate investors and municipalities.

J E A N B . D A V I S

EDUCATION

Master of Science - Real Estate Appraisal and Investment Analysis,
University of Wisconsin

Master of Arts - Elementary Education, Stanford University

Bachelor of Arts - Stanford University (with distinctions)

Additional graduate and undergraduate work at Columbia Teachers
College and the University of Wisconsin

PROFESSIONAL EDUCATION

Society of Real Estate Appraisers

Appraising Real Property	Course 101
Principles of Income Property Appraising	Course 201

American Institute of Real Estate Appraisers

Residential Valuation (formerly Course VIII)

Certified as Assessor I, Department of Revenue,
State of Wisconsin

PROFESSIONAL EXPERIENCE

With a significant background in education, practiced in California, Hawaii and Wisconsin, Ms. Davis is currently associated with Landmark Research, Inc. Her experience includes the appraisal and analysis of commercial and residential properties, significant involvement in municipal assessment practices, and market and survey research to determine demand potentials.

APPENDIX
PERMITTED AND CONDITIONAL USES FOR
C1, C2, C3L AND C3L DISTRICTS

ZONING CODE

Sec. 28.09

28.09 COMMERCIAL DISTRICTS.

(1) General Requirements.

(a) Permitted Uses. Permitted uses of land or buildings, as herein listed, shall be restricted to the districts indicated and under the conditions specified. No building or tract of land shall be devoted to any use other than a use permitted herein in the zoning district in which such building or tract of land shall be located, with the following exceptions:

1. Uses lawfully established on the effective date of this ordinance; and
2. Conditional uses allowed in accordance with the provisions of 28.09(1)(b) hereunder.

Uses lawfully established on the effective date of this ordinance and rendered nonconforming by the provisions thereof, shall be subject to those regulations of Section 28.05 governing nonconforming uses.

(Am. by Ord. 7085, 9-6-80)

(b) Conditional Uses. Conditional uses, as herein listed, may be allowed in the districts indicated, subject to the issuance of conditional use permits in accordance with the provisions of Section 28.12(10).

(c) Lot Area Requirements. Lot areas shall be provided in accordance with the regulations herein indicated. In addition, the following regulations shall be complied with:

1. No residential use shall be established or hereafter maintained on a lot recorded after the effective date of this ordinance, which is of less area than prescribed herein for such use in the zoning district in which it is to be located.
2. For any lot of record which is less than fifty (50) feet in width or less than six thousand (6,000) square feet in area on the effective date of this ordinance and located in any commercial district, the lot area requirements as established in the R4 district shall apply.
3. No existing residential building shall be converted so as to conflict with or further conflict with the lot area per dwelling unit requirements of the district in which such building is located.

(d) Height Regulations. Maximum height regulations as set forth in the C1 district shall apply to all buildings or structures in such district.

(e) Floor Area Ratio. Maximum floor area ratio as set forth in the C2, C3 and C4 districts shall apply to all buildings or structures in such districts. However, in the C2 and C3 districts located within the central area, the maximum floor area ratio shall be not more than 4.0, or not more than 5.0 when such districts adjoin the C4 district and are within two hundred (200) feet of such C4 district and are continuous as a commercial district.

Sec. 28.09(1)(f)

ZONING CODE

- (f) Yard Requirements. Yards shall be provided in accordance with the regulations herein indicated and shall be unobstructed from the ground level to the sky, except as allowed in Section 28.04(6)(e). All additions to a principal building, such as attached garages, shall comply with the yard requirements of the principal building.
- (g) Usable Open Space Requirements. Usable open space shall be provided on each lot, devoted in whole or in part to any residential use, as set forth in each zoning district. Such usable open space provided on the ground level shall be in a compact area of no less than two hundred (200) square feet and having no dimension less than ten (10) feet and having no slope greater than ten percent (10%). In calculating the usable open space requirements in the C1, C2 and C3 districts, there may be credited, up to a maximum of fifty percent (50%) of the required open space area, the area of any balconies having a minimum dimension of four feet six inches (4'6"), and on the roof, any open space area having a minimum dimension of fifteen (15) feet and being free of any obstructions and improved and available for safe and convenient use to all occupants of the building, and in the C4 district, there may be credited to the required open space area, the area of up to one hundred percent (100%) of the required open space area in any of the abovementioned balconies and open space on the roof. Also in the C4 district, interior activity spaces such as swimming pools, fitness rooms, etc., which may be used by all residents of the building, may be credited to the required open space. (Am. by Ord. 6052, 11-29-77)
- (h) (R. by Ord. 5831, 5-6-77)
- (i) Off-Street Parking And Loading. In the C1, C2 and C3 districts, off-street parking and loading facilities shall be provided in accordance with applicable regulations herein set forth in Section 28.11, provided however, in the central area, there shall be no specific requirements for off-street parking. In the C4 district, there shall be no specific requirements for off-street parking and loading facilities.
- (2) C1 Limited Commercial District.
 - (a) Statement Of Purpose. The C1 limited commercial district is established to accommodate the shopping needs of residents residing in adjacent residential areas. Within this district, which is located in close proximity to residential areas, are permitted those uses which are necessary to satisfy the daily or frequent shopping needs of the neighborhood consumer. Such uses include the retailing of convenience goods and the furnishing of certain personal services. Also permitted within this district are certain types of offices. Within this district, a limitation is imposed on the size of establishments to prevent the generation of large volumes of vehicular and pedestrian traffic.

ZONING CODE

Sec. 28.09(2)(b)

- (b) General Regulations. Uses permitted in the C1 district are subject to the following conditions:
1. Business uses are not permitted on any floor above the ground floor except in those buildings where dwelling units and lodging rooms are not established.
 2. All business establishments shall be retail or service establishments which deal directly with the customers. All goods produced on the premises shall be sold at retail on the premises where produced unless approved as a conditional use. (Am. by Ord. 6113, 1-26-78)
 3. All business, servicing or processing, except for off-street parking, off-street loading, display of merchandise such as garden, lawn or recreational supplies and equipment for sale to the public, automobile service station operation and outdoor eating areas of restaurants approved as a conditional use by the Plan Commission, shall be conducted within completely enclosed buildings. (Am. by Ord. 4310, 8-29-73)
 4. Establishments of the "drive-in" type are not permitted, except in the case of automobile service stations.
 5. Business establishments are restricted to a maximum gross floor area of ten thousand (10,000) square feet each, exclusive of any floor area devoted to off-street parking or loading facilities, except that food stores, containing two (2) or more uses, and offices as herein permitted below, may have a maximum floor area of not more than twenty-three thousand (23,000) square feet. (Am. by Ord. 5125, 9-3-75)
 6. Parking of trucks as an accessory use, when used in the conduct of a permitted business listed hereinafter, shall be limited to vehicles of not over one and one-half (1 1/2) tons capacity when located within one hundred fifty (150) feet of a residence district boundary line.
- (c) Permitted Uses. The following uses are permitted in the C1 district:
1. Accessory uses, including but not limited to the following:
 - a. Signs as regulated in this section.
 - b. Temporary buildings for construction purposes, for a period not to exceed the duration of such construction.
 2. Art and school supply stores.
 3. Barbershops.
 4. Beauty parlors.
 5. Bedding sales but not including furniture stores, provided that the zoning lot shall either be located on a heavy traffic route system or on a collector street with a right-of-way width not less than eighty (80) feet, and further provided that in no case shall the total floor area exceed three thousand (3,000) square feet.

Sec. 28.09(2)(c)6.

ZONING CODE

6. Bicycle sales, rental and repair establishments.
7. Book, magazine and stationery stores.
8. Candy and ice cream stores.
9. Churches.
10. Clubs and lodges, private.
11. Drugstores.
12. Dry cleaning and laundry establishments employing not more than eight (8) persons, including drive-up service windows if the zoning lot has direct vehicular access to either the heavy traffic system or a collector street via a driveway approach where the Traffic Engineer has determined that this site will properly accommodate such an operation and that traffic problems will not be created in the street. (Am. by Ord. 7407, 5-7-81)
13. Dwelling units and lodging units located above the ground floor not not to exceed four (4) dwelling units and not exceeding fifty percent (50%) of the total building floor area. (Am. by Ord. 7142, 11-7-80)
14. Fire stations.
15. Florist shops and conservatories employing not more than five (5) persons.
16. Food stores--grocery stores, meat stores, fish markets, bakeries employing not more than eight (8) persons, and delicatessens.
17. Gift shops.
18. Hardware stores.
19. Hobby shops.
20. Libraries, municipally owned and operated.
21. Liquor stores, packaged goods only.
22. Medical, dental and optical clinics, including accessory laboratories.
23. Nursery schools.
24. Offices for professional persons, for insurance or real estate organizations, and for nonprofit civic, fraternal, governmental research, labor, political, religious and service organizations or associations.
25. Outpatient housing facilities.
26. Paint and wallpaper store, provided it is located in a shopping center containing eight (8) or more retail businesses.
27. Parks and playgrounds.
28. Pet shops, including boarding of dogs, cats and other household pets when conducted as an incidental use and in an enclosed building.
29. Photography studios, including the development of films and pictures when conducted as part of the retail business on the premises.
30. Post offices.
31. Recreational buildings and community centers, not operated for profit.
32. Restaurants, except adult entertainment taverns. (Am. by Ord. 6101, 1-6-78)
33. Schools--elementary, junior high or high.
34. Shoe and hat repair stores.

ZONING CODE

Sec. 28.09(2)(c)35.

35. Toy shops.
36. Variety stores.
37. Wearing apparel shops.
38. Banks and financial institutions including drive-up service windows provided that the zoning lot shall be part of a contiguous Commercial Zoned District with an area larger than five (5) acres; provided that the zoning lot shall have direct vehicular access to either the heavy traffic route system or a collector street via a driveway approach where the Traffic Engineer has determined traffic problems will not be created in the street and further provided that in no case shall the total floor area exceed five thousand (5,000) square feet. (Cr. by Ord. 4456, 2-1-74)
39. Community living arrangements provided:
 - a. That the loss of any state license or permit by a community living arrangement be an automatic revocation of that facility's use permit.
 - b. That the applicant disclose in writing the capacity of the community living arrangement.
 - c. That the community living arrangement be located above ground floor.(Sec. 28.09(2)(c)39. Cr. by Ord. 5636, 11-3-76)

ZONING CODE

Sec. 28.09(2)(c)40.

40. Camera and photographic supply stores. (Cr. by Ord. 5638, 11-3-76)
 41. Reserved For Future Use.
 42. Travel bureaus and transportation ticket offices, provided that the zoning lot is located on a heavy traffic route system or on a collector street with a right-of-way width not less than eighty (80) feet, and further provided that in no case shall the total floor area exceed one thousand five hundred (1,500) square feet. (Cr. by Ord. 6076, 1-6-78)
 43. Art galleries. (Cr. by Ord. 6111, 1-26-78)
 44. Reserved For Future Use.
 45. Sporting goods stores, including the sale of live bait, provided that in no case shall the total floor area exceed three thousand (3,000) square feet, and further provided that hours of operation be limited to the hours between 7:00 a.m. and 9:00 p.m. unless approved as a conditional use. (Cr. by Ord. 6261, 5-24-78)
 46. Small home appliances, sales and service, not including stoves, refrigerators, freezers, washers or dryers, provided that the zoning lot shall either be located on a heavy traffic route system or on a collector street with a right-of-way width not less than eighty (80) feet, and further provided that in no case shall the total floor area exceed three thousand (3,000) square feet. (Cr. by Ord. 6866, 12-28-79)
 47. Mission house. (Cr. by Ord. 7372, 3-27-81)
- (d) Conditional Uses. The following conditional uses may be allowed in the C1 district subject to the provisions of Section 28.12(10):
1. Automobile laundries, provided:
 - a. That the zoning lot shall be located within a C1 district which, as one district or in combination with other commercial or manufacturing districts, extends continuously for at least five hundred (500) feet on one side of a street.
 - b. That the hours of operation shall be limited to the hours between 7:00 a.m. and 9:00 p.m.
 2. Automobile service stations for the retail sale and dispensing of fuel, lubricants, tires, batteries, accessories and supplies, including installation and minor services customarily incidental thereto, and facilities for chassis and gear lubrication and for washing of motor vehicles only if enclosed in a building, provided that the provisions set forth in 1.a. above shall apply.
 3. Buildings in which there are five (5) or more dwelling units and where dwelling units occupy more than fifty percent (50%) of the total building floor area. (Am. by Ord. 7142, 11-7-80)
 4. Greenhouses and nurseries, provided that such establishments shall be located on a major highway and further provided that adequate screening shall be provided on the premises.
 5. Hotels and motels, provided that the zoning lot shall be not less than one (1) acre.
 6. Outdoor eating areas of restaurants. (Am. by Ord. 5198, 10-31-75)
 7. Parking facilities, open and accessory, for the storage of private passenger automobiles only, when located elsewhere than on the same zoning lot as the principal use served, subject to the applicable provisions of Section 28.11.
 8. Parking facilities, accessory and located outside of the central area, subject to the applicable provisions of Section 28.11.
 - a. Accessory off-street parking facilities for a residential

Sec. 28.09(2)(d)8.b.

ZONING CODE

- building where the proposed total number of spaces will exceed that required by this ordinance for such use or for an equivalent new use by more than fifty percent (50%) or four (4) spaces, whichever number is greater.
- b. Accessory off-street parking facilities for any building, other than a residential building, where the proposed total number of spaces will exceed that required by this ordinance for such use or for an equivalent new use by more than one hundred percent (100%) or fifteen (15) spaces, whichever number is greater.
9. Parking facilities, accessory and located within the central area, where the number of parking spaces in such facilities exceeds the requirement set forth in Section 28.11(3)(b) for similar uses.
 10. Parking lots, garages and structures, nonaccessory and publicly owned and operated, for the storage of private passenger automobiles only, subject to the applicable provisions of Section 28.11.
 11. Printing and publishing establishments, including newspaper, letter press, business cards, mimeographing and other similar job printing service, provided that there shall be not more than five (5) employees, and further provided that the hours of operation shall be limited to the hours between 7:00 a.m. and 9:00 p.m.
 12. Public service signs.
 13. Public utility and public service uses as follows:
 - a. Electric substations.
 - b. Gas regulator stations, mixing stations and gate stations.
 - c. Radio and television towers.
 - d. Railroad rights-of-way, including rights-of-way for switch, spur or team tracks, but not including railroad yards and shops, or freight and service buildings. (Am. by Ord. 8276, 3-5-84)
 - e. Sewerage system lift stations.
 - f. Telephone exchanges, microwave relay towers and telephone transmission equipment buildings.
 - g. Water pumping stations and water reservoirs.
 14. Radio and television studios and stations, provided that the zoning lot shall be not less than one and one-half (1 1/2) acres.
 15. Temporary parking lots for a total period not to exceed three (3) years, provided such lot complies with the provisions of Section 10.08(6)(c), driveway and parking facility ordinance. (Am. by Ord. 7810, 8-27-82)
 16. Undertaking establishments and funeral parlors, provided that the zoning lot shall be not less than one (1) acre and further provided that where such zoning lot abuts a church site, the combined areas of both zoning lots shall be not less than one and one-half (1 1/2) acres regardless of the zoning district of the church site.
 17. Banks and financial institutions including drive-up service windows provided that the zoning lot shall have direct vehicular access to either the heavy traffic routes system or a collector street via a driveway approach where the Traffic Engineer has determined traffic problems will not be created in the street and further provided that in no case shall the total floor area exceed five thousand (5,000) square feet. (Cr. by Ord. 4457, 2-1-74)
 18. Furniture stores provided that the zoning lot shall either be located on an arterial street or on a collector street with a right-of-way not less than eighty (80) feet and further provided that in no case shall the total floor area exceed five thousand (5,000) square feet. (Cr. by Ord. 4647, 8-2-74)

ZONING CODE

Sec. 28.09(2)(d)19.

19. Business offices, machine sales and services establishments provided that the zoning lot shall be located on an arterial street with a right-of-way not less than eighty (80) feet and further provided that in no case shall the total floor area exceed five thousand (5,000) square feet. (Am. by Ord. 5252, 12-24-75)
 20. Parking facilities, nonaccessory and publicly or privately owned and operated for parking of private passenger automobiles only, subject to the provisions of Section 28.11 and limited to those areas paved as of January 1, 1977, or those owned by the City Parking Utility as of January 1, 1977. (Cr. by Ord. 5946, 8-15-77)
 21. Upholstery and interior decorating shops, provided that the zoning lot shall be located on an arterial highway or collector street and further provided that in no case shall the total floor area exceed five thousand (5,000) square feet. (Am. by Ord. 8223, 1-30-84)
 22. Artisan workshops, including production for sale off the premises, provided that the Plan Commission shall find:
 - a. That the specific activities proposed, at that location, are consistent with the recommendations of the adopted Land Use Plan for the City; and
 - b. That the specific activities proposed will comply with the provisions of Section 28.04(17), with particular consideration given to the potential effects of heat producing equipment, power driven tools, and operations involving pounding or hammering; and
 - c. That the specific activities and hours of operation proposed will create no traffic or other impact detrimental to the purposes of the zoning district or the use and enjoyment of surrounding properties.
- (Sec. 28.09(2)(d)22. Cr. by Ord. 6113, 1-26-78)
23. Live bait stores, where hours of operation exceed those permitted under Section 28.09(2)(c). (Cr. by Ord. 6261, 5-24-78)
- (e) Lot Area Requirements. In the C1 district, lot areas shall be provided in accordance with the following requirements:
1. Dwelling units.

<u>Minimum Lot Area</u> <u>Per Dwelling Unit</u>	<u>Type of</u> <u>Dwelling Unit</u>
700 square feet	Efficiency
1,000 square feet	One bedroom
1,300 square feet	Two bedroom

plus an additional three hundred (300) square feet of lot area for each additional bedroom in excess of two (2) in a dwelling unit.
 2. Lodging rooms--minimum lot area of four hundred (400) square feet per lodging room.

Sec. 28.09(2)(f)

ZONING CODE

- (f) Height Regulations. In the C1 district, no building or structure shall exceed three (3) stories nor forty (40) feet in height.
- (g) Yard Requirements. In the C1 district, minimum yards shall be provided as follows:
 1. A yard shall be provided where the extension of a front or side lot line abutting a street coincides with a front lot line of an adjacent lot located in a residence district. Such yard shall be equal in depth to the minimum front yard required by this ordinance on such adjacent residential lot. Such yard shall be provided along such front or side lot line abutting a street for a distance of at least fifty (50) feet, including the width of any intervening alley, from such residential lot.
 2. A yard shall be provided where a side lot line coincides with an alley right-of-way line or a side or rear lot line in an adjacent residence district. Such yard along such side lot line shall be equal in dimension to the minimum side yard which would be required under this ordinance for a residential use opposite such alley right-of-way line or on the adjacent residential lot.
 3. A yard shall be provided where a rear lot line coincides with an alley right-of-way line or a side lot line or rear lot line in an adjacent district. Such yard along such rear lot line shall be twenty (20) feet in depth for buildings not exceeding one story in height, and thirty (30) feet for buildings exceeding one (1) story in height.
 4. For residential uses, there shall be provided side and rear yards as established in the R5 district regulations. For residential uses located above the ground floor, such yards shall begin at a level no higher than the level of the finished floor of the lowest residential unit.
- (h) Usable Open Space Requirements. In the C1 district, there shall be provided a usable open space of not less than one hundred sixty (160) square feet for each lodging room, efficiency unit or one bedroom unit, plus an additional one hundred sixty (160) square feet for each additional bedroom in excess of one in a dwelling unit.
- (i) (R. by Ord. 5831, 5-6-77)

ZONING CODE

Sec. 28.09(3)

(3) C2 General Commercial District.

(a) Statement Of Purpose. The C2 general commercial district is established to accommodate the shopping needs of a much larger consumer population and area of residency than that served by the C1 limited commercial district. Within this district, which is located in relative proximity to residential areas and to major thoroughfares, is permitted a wider range of uses than in the C1 limited commercial district. Uses permitted in this district include not only the retailing of convenience goods and the furnishing of certain personal services, but also the retailing of durable and fashion goods and the furnishing of other types of services. Also permitted are all types of office uses. Within this district, there is no limitation on the size of establishments as provided in the C1 limited commercial district, except any retail use or any hotel or motel exceeding 50,000 square feet in size must be approved as conditional uses. (Am. by Ord. 8287, 3-16-84)

(b) General Regulations. Uses permitted in the C2 district are subject to the following conditions:

1. All goods produced on the premises shall be sold at retail on the premises where produced unless approved as a conditional use. (Am. by Ord. 5982, 9-30-77)
2. All business, servicing or processing, except for off-street parking, off-street loading, display and sale of farm produce and nursery stock, display of merchandise such as garden, lawn and recreation supplies and equipment for sale to the public, establishments of the drive-in type and outdoor eating areas of restaurants approved as a conditional use by the Plan Commission, shall be conducted within completely enclosed buildings. (Am. by Ord. 7019, 6-27-80)

ZONING CODE

Sec. 28.09(3)(b)3.

3. Parking of trucks as an accessory use, when used in the conduct of a permitted business listed hereinafter, shall be limited to vehicles of not over one and one-half (1 1/2) tons capacity when located within one hundred fifty (150) feet of a residence district boundary line.

(c) Permitted Uses. The following uses are permitted in the C2 district:

1. Accessory uses.
2. Any use permitted in the C1 district.
3. Amusement establishments, including archery ranges, bowling alleys, dance halls, golf driving ranges, gymnasiums, pool halls, swimming pools, skating rinks and other similar indoor amusement facilities.
4. Antique shops.
5. Art galleries and museums.
6. Auction rooms.
7. Automobile accessory stores.
8. Banks and financial institutions.
9. Blueprinting and photostating establishments.
10. Business machine sales and service establishments.
11. (R. by Ord. 5638, 11-3-76)
12. Carpet and rug stores.
13. Catering establishments.
14. China and glassware stores.
15. Clothing and costume rental stores.
16. Coin and philatelic stores.
17. Convalescent homes and nursing homes, provided that the zoning lot shall be not less than one-half (1/2) acre and further provided that the side and rear yards as established in the R5 district are provided. Provided also that the intended use abuts on one side either:
 - a. A residential zoning district; or
 - b. A substantially permanent residential building in the commercial district.
18. Department stores.
19. Dry goods stores.
20. Employment agencies.
21. Exterminating shops.
22. Floor covering stores (linoleum and tile).
23. Florist shops and conservatories with no limitation on number of employees.
24. Fraternal, philanthropic and eleemosynary uses.
25. Furniture stores.
26. Furrier shops, including the incidental storage and conditioning of furs.
27. Hospitals and sanitariums.
28. Hotels and motels.
29. Household appliance stores, including radio and television sales and service.
30. Interior decorating shops, including upholstering and making of draperies, slipcovers and other similar articles when conducted as part of the retail operation and secondary to the principal use.
31. Jewelry stores, including watch repair.
32. Laboratories--research, development and testing.

Sec. 28.09(3)(c)33.

ZONING CODE

33. Leather goods and luggage stores.
 34. Loan offices.
 35. Locksmith shops.
 36. Meat markets, including sale of meat and meat products to restaurants, hotels, clubs and other similar establishments when such sale is conducted as part of the retail business on the premises.
 37. Musical instrument sales and repair.
 38. Offices, business and professional.
 39. Office supply stores.
 40. Optical sales.
 41. Orthopedic and medical appliance and supply stores.
 42. Paint and wallpaper stores.
 43. Phonograph, record and sheet music stores.
 44. (R. by Ord. 7006, 6-6-80)
 45. Picture framing.
 46. Printing, publishing and bookbinding establishments.
 47. Radio and television studios and stations.
 48. Recording studios.
 49. Schools--music, dance, business or trade.
 50. Secondhand stores and rummage shops.
 51. Sewing machine sales and service, household appliances only.
 52. Sporting goods stores.
 53. Tailor shops.
 54. Taverns, except adult entertainment taverns. (Am. by Ord. 6101, 1-6-78)
 55. Taxidermists.
 56. Telegraph offices.
 57. Theaters, indoor.
 58. Ticket agencies, amusement.
 59. Tobacco shops.
 60. Travel bureaus and transportation ticket offices.
 61. Typewriter and adding machine sales and service establishments.
 62. Undertaking establishments and funeral parlors.
 63. Upholstery shops.
 64. Water softener sales and service.
 65. Film developing and processing. (Cr. by Ord. 6226, 5-3-78)
 66. Wholesale magazine distribution agencies, provided the hours of operation are limited to 7:00 a.m. to 7:00 p.m., and further provided that none of the magazines handled by such agencies fall within the definition of materials handled by an adult book store as defined in Sec. 28.03(2). (Cr. by Ord. 6876, 1-17-80)
 67. Outdoor display and sale of farm produce and nursery stock. (Cr. by Ord. 7020, 6-27-80)
 68. Newspaper distribution agencies for home delivery and retail sale provided the property is not adjacent to a residential lot. (Cr. by Ord. 8254, 2-20-84)
- (d) Conditional Uses. The following conditional uses may be allowed in the C2 district subject to the provisions of Section 28.12(10).
1. Any use allowed as a conditional use in the C1 district unless permitted in (c) above.

ZONING CODE

Sec. 28.09(3)(d)2.

2. Outdoor eating areas of restaurants and/or outdoor areas of cabarets. (Cr. by Ord. 7472, 7-30-81)
3. Automobile laundries, provided that the Plan Commission shall first obtain a report and recommendations from the Traffic Engineer on traffic matters.
4. Boat showrooms, including accessory sales, and repairs of boats, motors, parts and equipment, provided that the Plan Commission shall find:
 - a. That adequate off-street parking exists on the site.
 - b. That all repair of boats, motors, parts and equipment, and all sales and storage of boats, motors, parts and equipment, shall be conducted and displayed within completely enclosed buildings.
 - c. That any such use shall be located not less than one hundred twenty (120) feet from any residence district boundary line.
5. Contractors or construction offices and shops and display rooms, such as building, cement, electrical, heating, ventilating and air conditioning, masonry, painting, plumbing, refrigeration and roofing, provided that all parking (other than automobiles), loading, display of merchandise and parking or storage of equipment and supplies shall be conducted within completely enclosed buildings.
6. Garages for repair and servicing of motor vehicles of not over one and one-half (1 1/2) tons capacity, but not including body repairs, painting or motor rebuilding, providing that the Plan Commission shall find:
 - a. That adequate off-street parking exists on the site for vehicles awaiting repairs, servicing or pickup.
 - b. That all other business and servicing shall be conducted within completely enclosed buildings.
 - c. That no permanent or temporary storage of wrecked vehicles or rental vehicles shall occur on the premises unless completely screened from view or within an enclosed building.
7. Storage and warehousing establishments, provided such gross floor area shall not exceed ten thousand (10,000) square feet, and further provided that the Plan Commission shall first obtain a report and recommendations from the Traffic Engineer on traffic matters.
8. Planned development-hospital facility, provided that the total site area shall be not less than one and one-half (1 1/2) acres and further provided that the site may consist of two (2) or more zoning lots separated only by a public right-of-way where authorized by the Plan Commission.
9. Drive-in establishments.
10. Bus terminals and bus turnaround areas, provided direct vehicular access is to a major traffic route and further provided the location is not in conflict with adopted plans.
11. Small machine shop, provided that no individual machine used in the shop exceeds one thousand two hundred (1,200) pounds, that no welding, forging or casting is conducted on site, that there shall be not more than five (5) shop employees, that the hours of operation shall be limited to the hours between 7:00 a.m. and 9:00 p.m., and that finished products shall not exceed twenty-five (25) pounds in weight.

Sec. 28.09(3)(d)12.

ZONING CODE

12. Business community parking lot for operable passenger automobiles of persons employed full time within the immediate neighborhood, provided:
 - a. That such parking lot shall be located outside the central area.
 - b. That no building shall be located on such lot.
 - c. That at least eighty percent (80%) of the parking spaces located on such lot shall be leased on a monthly basis to persons employed full time in buildings within one thousand (1,000) feet walking distance from such parking lot.
 - d. That the site shall not abut residentially zoned property.
 - e. That the Traffic Engineer shall, prior to the approval of such lot, submit a report and recommendations regarding traffic and parking needs and conditions within the area.
 - f. That such lot contains a setback area which will be planted and landscaped and which conforms to screening regulations.
 13. Trailer rental, for use with private passenger motor vehicles. (Cr. by Ord. 4755, 10-24-74)
 14. Automobile rental agencies provided direct vehicular access is to the heavy traffic route system. (Cr. by Ord. 5092, 7-29-75)
 15. Sales of motorcycles, provided that the Plan Commission shall find:
 - a. That adequate off-street parking exists for motorcycles and automobiles.
 - b. That all sales and service be conducted within completely enclosed buildings.
 - c. That screening, landscaping, lighting and signs are appropriate to the location.
- (Sec. 28.09(3)(d)15. Cr. by Ord. 5515, 6-25-76)
16. Automobile sales establishments in abandoned automobile service station sites provided that the Plan Commission shall find:
 - a. That there is adequate screening and landscaping, including between the site and residential uses.
 - b. That no permanent or temporary storage of vehicles in disrepair shall occur on the premises unless within a completely enclosed building.
 - c. That the site fronts on either a street designated as an arterial street or on a frontage road adjacent to a designated arterial street.
 - d. That illumination of the site does not adversely affect adjacent properties.
 - e. That signs shall conform to the size limitation of the R5 residential district if the site is opposite or adjoining residential property.
 - f. That the hours of operation shall be limited to 8:00 a.m. to 8:00 p.m.
- (Sec. 28.09(3)(d)16. Cr. by Ord. 5533, 7-13-76)
17. Adult entertainment establishments, subject to the following conditions:
 - a. All exterior windows in any premises occupied by such establishment shall be blackened to the extent necessary to make them opaque.
 - b. No such establishment shall be located within five hundred (500) lineal feet of a church, or a private or public elementary, secondary or vocational school, or a public park, or within five hundred (500) lineal feet of any residence district.

ZONING CODE

Sec. 28.09(3)(d)17.c.

- c. Such establishment may have only one (1) nonflashing business sign, which sign may only indicate the name of the business and identify it as an adult entertainment establishment.
(Sec. 28.09(3)(d)17. Cr. by Ord. 5711, 12-28-76)
- 18. Attendant or metered automobile parking facilities solely for the short term (3 hours or less) use of patrons and other visitors of retail, service, office, cultural and recreational uses in the vicinity of the State Street Mall and Capitol Concourse provided:
 - a. That such lot is within three hundred (300) feet of the limits of the C4 Central Commercial District, and
 - b. That such lot contains a setback area which will be planted and landscaped and which conforms to screening regulations, and
 - c. That the Traffic Engineer shall, prior to the approval of such facility, submit a report and recommendation regarding traffic and parking conditions within the area, and
 - d. That such lot, at its location, does not defeat the adopted objectives and policies of the City nor the purposes of the zoning district, and
 - e. That no residential building shall be located on such lot.
(Sec. 28.09(3)(d)18. Cr. by Ord. 5905, 7-7-77)
- 19. Bakeries with more than eight (8) employees or selling at other than retail provided:
 - a. That adequate off-street parking and loading exists on the site.
 - b. That the hours of operation shall be established after consideration of the occupants of adjacent properties.
(Cr. by Ord. 5982, 9-30-77)
- 20. Model homes or garage displays. (Cr. by Ord. 6971, 4-30-80)
- 21. Physical culture and health services, reducing salons, masseurs and public baths, subject to the following conditions:
 - a. The identity, including officers and agent of any corporation and all partners in a partnership, of the owner of the building and any lessee of the portion of the building so used shall be filed with the Zoning Administrator. A copy of any lease involved shall be filed with the Zoning Administrator. Changes in any of the above information shall be reported within ten (10) days of the change to the Zoning Administrator.
 - b. The person seeking the conditional use permit shall provide, in writing, a full and detailed description of the proposed business as part of the application and shall update such description as changes occur.
 - c. The intimate parts, as that term is defined in Sec. 939.22(19), Wis. Stats., of employees shall be covered with opaque material at all times.
 - d. For public baths only, no employee shall be present with any patron in any hot tub, sauna, steam room or whirlpool except in an emergency. The occupant shall permit inspection of facilities by the City Health Division during regular business hours.
 - e. The occupant shall not permit the violation of any law relating to commercial sexual activity.
 - f. Failure of compliance with any of these conditions or operation of the business in a manner other than as most recently described may be grounds for revocation of the conditional use permit.
(Cr. by Ord. 7006, 6-6-80)

Sec. 28.09(3)(d)22

ZONING CODE

22. Jail facilities. (Cr. by Ord. 7470, 7-30-81)
23. (R. by Ord. 7873, 11-29-82)
24. Any new construction of a building or an addition to an existing building in which any portion of such building or addition exceeds fifty thousand (50,000) square feet in gross floor area and is designed or intended for retail use or for a hotel or motel. This conditional use and the one hereafter are established to allow consideration of the potential impacts of the proposed conditional use on the transportation system and on the policy objectives for transportation and land use, including noise, air quality and appearance. In addition to the requirements of Section 28.12(10), "Conditional Uses," the applicant shall provide an analysis in accordance with the guidelines established by the City Department of Transportation of the proposed development's impacts on the transportation system and associated recommended solutions to the Plan Commission. The Urban Design Commission shall review the design and appearance of the proposed conditional use and provide recommendations to the Plan Commission. (Cr. by Ord. 8287, 3-16-84)
25. Any change of use to a retail use or a hotel or motel in a building in which more than fifty thousand (50,000) square feet of gross floor area of such building is devoted to a retail use or to a hotel or motel. For the purpose of this paragraph, a change in use shall mean a change from any other use to a retail use or to a hotel or motel. (Cr. by Ord. 8287, 3-16-84)
26. Adult day care facilities. (Cr. by Ord. 8392, 7-25-84)
- (e) Lot Area Requirements. In the C2 district, the lot area requirements of the C1 district shall apply.
- (f) Floor Area Ratio. In the C2 district, the floor area ratio shall not exceed 3.0.
- (g) Yard Requirements. In the C2 district, minimum yards shall be provided as follows:
 1. A yard shall be provided where the extension of a front or side lot line abutting a street coincides with a front lot line of an adjacent lot located in a residence district. Such yard shall be equal in depth to the minimum front yard required by this ordinance on such adjacent residential lot. Such yard shall be provided along such front or side lot abutting a street for a distance of at least twenty-five (25) feet, including the width of any intervening alley, from such residential lot.
 2. A yard shall be provided where a side lot line coincides with an alley right-of-way line or a side or rear lot line in an adjacent residence district. Such yard along such side lot line shall be equal in dimension to the minimum side yard which would be required under this ordinance for a residential use opposite such alley right-of-way line or on the adjacent residential lot.

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Sec. 28.09(3)(g)3.

3. A yard shall be provided where a rear lot line coincides with an alley right-of-way line or a side lot line or rear lot line in an adjacent district. Such yard along such rear lot line shall be ten (10) feet in depth for buildings not exceeding one story in height, and thirty (30) feet for buildings exceeding one story in height.
4. For residential uses, there shall be provided side and rear yards as established in the R5 district regulations. For residential uses located above the ground floor, such yards shall begin at a level no higher than the level of the finished floor of the lowest residential unit.
- (h) Usable Open Space Requirements. In the C2 district, the usable open space requirements of the C1 district shall apply.
 - (i) (R. by Ord. 5831, 5-6-77)
- (4) C3 Highway Commercial District.
 - (a) Statement of Purpose. The C3 Highway Commercial district is established to furnish the consumer population served by the C2 General Commercial district with a wide variety of goods and services, some of which are not compatible with the uses permitted in the C2 General Commercial district and thus not permitted therein. Within this district are permitted those uses which because of certain locational requirements and operational characteristics are appropriate to locations either in close proximity to major thoroughfares or in areas away from residences.
 - (b) General Regulations. Uses permitted in the C3 district are subject to the following conditions:
 1. All business, servicing or processing, except for off-street parking, off-street loading, display of merchandise for sale to the public, establishments of the drive-in type and outdoor eating areas of restaurants approved as a conditional use by the Plan Commission shall be conducted within completely enclosed buildings unless otherwise indicated hereinafter. (Am. by Ord. 4301, 8-29-73)
 2. Parking of trucks as an accessory use, when used in the conduct of a permitted business listed hereinafter, shall be limited to vehicles of not over one and one-half (1 1/2) tons capacity when located within one hundred fifty (150) feet of a residence district boundary line.
 3. All storage within one hundred (100) feet of a residence district, arterial or collector street, except for motor vehicles in operable condition, shall be within completely enclosed buildings or effectively screened with screening not less than six (6) feet nor more than eight (8) feet in height, provided no storage located within fifty (50) feet of such screening shall exceed the maximum height of such screening; further provided, however, the Zoning Administrator may approve alternate landscaping/screening plans meeting the general intent, purpose and guidelines of the revised "New Approach to Parking Lot Landscaping" adopted by Substitute Resolution No. 37,915. (Am. by Ord. 8300, 4-16-84)

Sec. 28.09(4)(c)

ZONING CODE

(c) Permitted Uses. The following uses are permitted in the C3 district:

1. Accessory uses.
2. Any use permitted in the C2 district.
3. Animal hospitals and kennels, including outdoor dog runs or exercise pens when located not less than two hundred (200) feet from a residence district.
4. Any production, processing, cleaning, servicing, testing or repair of materials, goods or products, limited to the following uses or products:
 - a. Advertising products, such as signs and billboards.
 - b. Awnings, venetian blinds and window shades.
 - c. Bottling or distribution plants, milk or soft drinks.
 - d. Ceramic products, such as pottery, figurines and small glazed tiles.
 - e. Cooperage works.
 - f. Film developing and processing.
 - g. Furniture refinishing.
 - h. Jewelry.
 - i. Medical, dental and optical supplies.
 - j. Milk and ice cream processing.
 - k. Products from the following previously prepared materials: bone, canvas, cellophane, cloth, cork, feathers, felt, fiber, fur, glass, hair, horn, leather, paper, plastic, precious or semiprecious stones, rubber, shell and yarn.
 - l. Scientific and precision instruments.
 - m. Soldering and welding.
5. Bakeries with no limitations on number of employees.
6. Battery and tire service stations.
7. Building material sales establishments.
8. Dry cleaning and laundry establishments with no limitation on number of employees.
9. Express and parcel delivery establishments.
10. Feed and seed stores.
11. Fuel and ice sales establishments.
12. Garages for repair and servicing of motor vehicles, including body repair, painting or motor rebuilding.
13. Greenhouses.
14. Linen, towel, diaper and other similar supply services.
15. Live bait stores.
16. Machinery and equipment sales and service establishments.
17. Mail order houses.
18. Meeting halls, convention halls and exhibition halls.
19. Mobile home sales and service establishments.
20. Model homes or garage displays.
21. Monument sales.
22. Motor vehicle sales or rental establishments. (Am. by Ord. 5161, 9-29-75)
23. Newspaper distribution agencies for home delivery and retail sale.
24. Packing and crating establishments.
25. Stadiums, auditoriums and arenas, open or enclosed.
26. Storage and warehousing establishments.
27. Trailer sales and rental, for use with private passenger motor vehicles.

ZONING CODE

Sec. 28.09(4)(c)28.

28. Wholesaling establishments.
 29. Bus garages and bus parking lots. (Cr. by Ord. 6725, 8-30-79)
 30. Outdoor display and sale of farm produce and nursery stock. (Cr. by Ord. 7018, 6-27-80)
 31. (R. by Ord. 7872, 11-29-82)
 32. Reserved For Future Use.
 33. Metal or glass recycling business conducted within a completely enclosed building, provided such building is located no less than 150 feet from a residential building. (Cr. by Ord. 8220, 1-13-84)
 34. Any production, processing, cleaning, servicing, testing or repair of materials, goods or products limited to the following uses or products when located not less than 150 feet from a Residence District:
 - a. Cameras and other photographic equipment.
 - b. Electrical appliances.
 - c. Electrical equipment assembly.
 - d. Electrical supplies, manufacture and assembly.
 - e. Musical instruments.
 - f. Orthopedic and medical appliances.
 - g. Silverware, plate and sterling.
 - h. Sporting goods.
 - i. Textiles.
 - j. Tools and hardware.
- (Cr. by Ord. 8321, 5-11-84)
- (d) Conditional Uses. The following conditional uses may be allowed in the C3 district subject to the provisions of Section 28.12(10).
1. Any use allowed as a conditional use in the C2 district.
 2. Any production, processing, cleaning, servicing, testing or repair of materials, goods or products, limited to the following uses or products:
 - a. Machine shops and fabrication of metals.
 - b. Boatbuilding of small craft.
 - c. Metal finishing, plating, grinding, sharpening, polishing, cleaning, rustproofing, and heat treatment.
 - d. Metal stamping and extrusion of small products.
 - e. Soap and detergents.
 - f. Cosmetics and toiletries, drugs, perfumes and perfumed soaps and pharmaceutical products.
- (Am. by Ord. 8321, 5-11-84)
3. Cartage establishments, but not including motor freight terminals.
 4. Adult entertainment taverns, subject to the following conditions:
 - a. No such establishment shall be located within five hundred (500) lineal feet of a church, or any private or public day care center, preschool center, or school, or a public park, or any library, or any Residential District, or any Planned Developments, or any tavern, or any other adult entertainment tavern or adult entertainment establishment. (Am. by Ord. 8069, 6-30-83)
 - b. The establishment shall acquire and maintain an adult entertainment tavern permit pursuant to Section 9.10(17) or 9.11(19) of these ordinances prior to issuance of an occupancy permit.

(Sec.28.09(4)(d)4. Cr. by Ord. 6101, 1-6-78)

Sec. 28.09(4)(d)5.

ZONING CODE

5. Taxicab business. (Cr. by Ord. 7872, 11-29-82)
 6. Any production, processing, cleaning, servicing, testing or repair of materials, goods or products, limited to the following uses or products when located less than 150 feet from a Residence District:
 - a. Cameras and other photographic equipment.
 - b. Cosmetics and toiletries, drugs, perfumes and perfumed soaps and pharmaceutical products.
 - c. Electrical appliances.
 - d. Electrical equipment assembly.
 - e. Electrical supplies, manufacture and assembly.
 - f. Musical instruments.
 - g. Orthopedic and medical appliances.
 - h. Silverware, plate and sterling.
 - i. Sporting goods.
 - j. Textiles.
 - k. Tools and hardware.
- (Sec. 28.09(4)(d)6. Cr. by Ord. 8321, 5-11-84)
- (e) Lot Area Requirements. In the C3 district, the lot area requirements of the C1 district shall apply.
 - (f) Floor Area Ratio. In the C3 district, the floor area ratio shall not exceed 3.0.
 - (g) Yard Requirements. In the C3 district, the yard requirements of the C2 district shall apply.
 - (h) Usable Open Space Requirements. In the C3 district, the usable open space requirements of the C1 district shall apply.
 - (i) (R. by Ord. 5831, 5-6-77)
- (5) C4 Central Commercial District.
- (a) Statement Of Purpose. The C4 Central Commercial district is established to accommodate those uses which are of City-wide, regional or state significance. Within this district, which is located in close proximity to the State Capitol Building and State Street, and which is readily accessible by public transportation from all parts of the City, are permitted the retail, service and office uses characteristic of a central business district. In addition to commercial activities, residential use above the ground floor is permitted and encouraged. No accessory off-street parking is required in this district, and any off-street parking which is provided is controlled as to the location, type and size of such facility so as to reduce congestion on streets within or leading to this district. All new buildings and any major alteration of an exterior building face must be approved by the Plan Commission because of the community's objective to maintain the aesthetic qualities of the district. (Am. by Ord. 6052, 11-29-77)
 - (b) General Regulations. Uses permitted in the C4 district are subject to the following conditions:
 1. All business, servicing or processing, except for off-street parking, off-street loading, automobile service station operation, drive-in banks and outdoor eating areas of restaurants approved as a conditional use by the Plan Commission, shall be conducted within completely enclosed buildings. (Am. by Ord. 4304, 8-29-73)

ZONING CODE

Sec. 28.09(5)(b)2.

2. Establishments of the drive-in type are not permitted, except automobile service stations and drive-in banks.
3. Any major alteration of the exterior face of a building shall conform to the remodeling and new construction guidelines for State Street and the Capitol Square adopted as administrative guidelines by the City Plan Commission on September 23, 1968 and as modified on December 7, 1970 and shall be permitted only after the written approval of the City Department of Planning and Development, provided that any action by the department may be appealed to the City Plan Commission by the applicant. (Am. by Ord. 6568, 3-22-79)
4. To insure a variety of housing types in the central area, the following point values are established.

<u>Type of Dwelling Unit or Lodging Room</u>	<u>Point Value</u>
Lodging Room	0
Efficiency Unit	0
One Bedroom Unit	1
Two Bedroom Unit	2
Three or More Bedroom Unit	3

In any building, the average point value for all dwelling units and lodging rooms shall be not less than 1.5. (Cr. by Ord. 6052, 11-29-77)

5. All new buildings and any major alteration of an exterior building face shall be considered by the Urban Design Commission and their recommendations regarding design and appearance shall be submitted to the City Plan Commission. (Cr. by Ord. 8107, 9-19-83)
- (c) Permitted Uses. The following uses are permitted in the C4 district:
1. Any use permitted in the C2 district, except restaurants, is permitted in the C4 district.
 2. Dwelling units and lodging rooms located above ground floor. (Am. by Ord. 7870, 11-29-82)
- (d) Conditional Uses. The following conditional uses may be allowed in the C4 district subject to the provisions of Section 28.12(10):
1. Any new construction of a building or addition to an existing building.
 2. Any production, processing, cleaning, servicing, testing or repair of materials, goods or products, limited to the following uses or products:
 - a. Jewelry.
 - b. Medical, dental and optical supplies.
 - c. Products from the following previously prepared materials: bone, canvas, cellophane, cloth, cork, feathers, felt, fiber, fur, glass, hair, horn, leather, paper, plastic, precious or semiprecious stones, rubber, shell and yarn.
 - d. Scientific and precision instruments.
 3. Outdoor eating areas of restaurants. (Am. by Ord. 5198, 10-31-75)
 4. Dwelling units and lodging rooms located on the ground floor.
 5. Parking facilities, accessory and located within the central area, where the number of parking spaces in such facilities exceeds the requirement set forth in Section 28.11(3)(b) for similar uses.
 6. Parking lots, garages and structures, nonaccessory and publicly owned and operated, for the storage of private passenger automobiles only, subject to the applicable provisions of Section 28.11.
 7. Public service signs.

Sec. 28.09(5)(d)8.

ZONING CODE

8. Public utility and public service uses as follows:
 - a. Bus terminals and bus turnaround areas.
 - b. Electric substations.
 - c. Gas regulator stations, mixing stations and gate stations.
 - d. Police stations.
 - e. Radio and television towers.
 - f. Railroad passenger stations.
 - g. Railroad rights-of-way, but not including railroad yards and shops, freight and service buildings, or rights-of-way for switch, lead, spur or team tracks.
 - h. Telephone exchanges, microwave relay towers and telephone transmission equipment buildings.
 - i. Jail facilities. (Cr. by Ord. 7470, 7-30-81)
9. (R. by Ord. 5831, 5-6-77)
10. Wholesaling establishments.
11. Adult entertainment establishments, subject to the following conditions:
 - a. All exterior windows in any premises occupied by such establishment shall be blackened to the extent necessary to make them opaque.
 - b. No such establishment shall be located within five hundred (500) lineal feet of a church, or a private or public elementary, secondary or vocational school, or a public park, or within five hundred (500) lineal feet of any residence district.
 - c. Such establishment may have only one (1) nonflashing business sign, which sign may only indicate the name of the business and identify it as an adult entertainment establishment.
- (Sec. 28.09(5)(d)11. Cr. by Ord. 5717, 12-28-76)
12. Attendant or metered automobile parking facilities solely for the short term (3 hours or less) use of patrons and other visitors of retail, service, office, cultural and recreational uses in the vicinity of the State Street Mall and Capitol Concourse provided:
 - a. That such lot contains a setback area which will be planted and landscaped and which conforms to screening regulations, and
 - b. That the Traffic Engineer shall, prior to the approval of such facility, submit a report and recommendation regarding traffic and parking conditions within the area, and
 - c. That such lot, at its location, does not defeat the adopted objectives and policies of the City nor the purposes of the zoning district, and
 - d. That no residential building shall be located on such lot.
- (Sec. 28.09(5)(d)12. Cr. by Ord. 5904, 7-7-77)
13. Parking facilities, nonaccessory and publicly or privately owned and operated for parking of private passenger automobiles only, subject to the provisions of Section 28.11 and limited to those areas paved as of January 1, 1977, or those owned by the City Parking Utility as of January 1, 1977. (Cr. by Ord. 5945, 8-15-77)
14. Vending carts and kiosks located on private property. (Cr. by Ord. 6137, 2-13-78)
15. Restaurants, except adult entertainment taverns, provided:
 - a. That the Traffic Engineer shall, prior to the approval of such restaurant, submit a report and recommendation regarding traffic, parking and pedestrian needs and conditions within the area including the adequacy of the sidewalk to facilitate pedestrian flow.

ZONING CODE

Sec. 28.09(5)(d)15.b.

- b. That the design and appearance shall conform to the current remodeling and new construction guidelines for State Street and the Capitol Square.
- c. That the likely impact of changes in noise levels, smell or lights on the occupants of adjacent properties as a result of the establishment of the restaurant be considered by the Plan Commission.
- d. That the Inspection Unit of the department of Planning and Development shall, prior to the approval of such restaurant, submit a report and recommendation regarding inside and outside waste receptacles and trash and refuse pick-up and storage including offsite pick-up with the objective of eliminating the adverse effects on the neighborhood and lakes and streams of the paper and other disposable products. The Plan Commission may, after consideration of the above report and recommendations, limit the restaurant to washable and reusable dishes and silverware for serving foods and liquids. (Am. by Ord. 8081, 7-29-83)
- (e) Lot Area Requirements. In the C4 district, there shall be no lot area requirements. (Am. by Ord. 6052, 11-29-77)
- (f) Height Regulations. In the C4 district, building heights shall be limited by Section 28.04(14) of this code and by the following regulations:
 - 1. Buildings on zoning lots having street frontage on State Street shall be not less than two (2) stories nor more than four (4) stories in height.
 - 2. Buildings on zoning lots having street frontage on the Capitol Square or on the East Washington, West Washington, Wisconsin or Monona Avenues and buildings on zoning lots fronting on the Southeast side of East and West Wilson Streets shall be not less than three (3) stories nor more than ten (10) stories in height.
 - 3. Buildings on zoning lots in this district not having frontage on any of the aforementioned streets shall have a maximum height of eight (8) stories.
 - 4. Additions to any existing buildings may exceed the height limitations in paragraphs 1., 2., and 3., above, provided the following:
 - a. Such additions shall not exceed the height of any portion of the existing building;
 - b. Such additions shall have been originally proposed as a part of the existing building, and the building shall have been structurally designed and constructed to accommodate such additions; and
 - c. Such additions shall be approved by the Plan Commission pursuant to the conditional use procedure established in Sec. 28.12(10).
- (Sec. 28.09(5)(f)4. Cr. by Ord. 7106, 9-25-80)
- (g) Yard Requirements. In the C4 district, the yard requirements shall be as follows:
 - 1. A minimum rear yard of ten (10) feet shall be provided for the purpose of loading and unloading from future alleyway systems. However, this rear yard requirement may be waived by the Zoning Board of Appeals only upon its findings that such rear yard is not necessary as a part of an alleyway system, provided such findings shall be made only after receipt of recommendations from the Zoning

Sec. 28.09(5)(g)2.

ZONING CODE

- Administrator, Traffic Engineer and Director of Planning and Development regarding the relative merits of said rear yard as part of an alleyway system. (Am. by Ord. 6568, 3-22-79)
2. Where dwelling units, lodging units or hotel or motel sleeping rooms have windows facing any interior lot lines, yards as required in the R5 district shall be provided. Such yards shall begin at a level no higher than the level of the finished floor of the lowest residential unit.
 - (h) Usable Open Space Requirements. In the C4 district, there shall be provided a usable open space of not less than one hundred (100) square feet for each dwelling unit. (Am. by Ord. 6052, 11-29-77)
 - (i) R. by Ord. 5831, 5-6-77)
 - (6) C3L Commercial Service And Distribution District (Nonresidential).
 - (a) Statement Of Purpose. The C3L commercial service and distribution district is established to furnish a wide variety of goods, services and distribution activities. Within this district, residential development is prohibited because most of the permitted uses are not compatible with nontransient residential development. A full range of retail, service, wholesale, warehouse and distribution activities is permitted.
 - (b) General Regulations. Uses permitted in the C3L district are subject to the following conditions:
 1. All business, servicing or processing, except for offstreet parking, off-street loading, display of merchandise for sale to the public, establishments of the drive-in type and outdoor eating areas of restaurants approved as a conditional use by the Plan Commission, shall be conducted within completely enclosed buildings unless otherwise indicated hereinafter. (Am. by Ord. 4306, 8-29-73)
 2. Parking of trucks as an accessory use, when used in the conduct of a permitted business listed hereinafter, shall be limited to vehicles of not over one and one-half (1 1/2) tons capacity when located within one hundred fifty (150) feet of a residence district boundary line.
 3. All storage within one hundred (100) feet of a residence district, arterial or collector street, except for motor vehicles in operable condition, shall be within completely enclosed buildings or effectively screened with screening not less than six (6) feet nor more than eight (8) feet in height, provided no storage located within fifty (50) feet of such screening shall exceed the maximum height of such screening; further provided, however, the Zoning Administrator may approve alternate landscaping/screening plans meeting the general intent, purpose and guidelines of the revised "New Approach to Parking Lot Landscaping" adopted by Substitute Resolution No. 37,915. (Am. by Ord. 8300, 4-16-84)

ZONING CODE

Sec. 28.09(6)(c)

- (c) Permitted Uses. The following uses are permitted in the C3L district:
 - 1. Any use permitted in the C3 district excepting dwelling units and lodging rooms located above the ground floor.
 - 2. Dwelling units for watchmen and their families located on the premises where they are employed.
- (d) Conditional Uses. Any use allowed as a conditional use in the C3 district, excepting dwelling units and lodging rooms located on the ground floor, may be allowed in the C3L district, subject to the provisions of Section 28.12(10).
- (e) Floor Area Ratio. In the C3L district, the floor area ratio shall not exceed 3.0.
- (f) Yard Requirements. In the C3L district, the yard requirements of the C3 district shall apply.
- (g) (R. by Ord. 5831, 5-6-77)

APPENDIX

URBAN DESIGN COMMISSION GUIDELINES--DISTRICT ONE

Sec. 33.02(7)(b)4.c.

COMMISSIONS

- c. Parking areas shall be illuminated using attractive standards and fixtures. The use of low-profile standards is recommended. Drawings of these standards shall be a part of plans submitted to the Urban Design Commission for review and approval.
- 5. Building Design. Contemporary architecture shall be the goal of the Gateway Area. New and remodeled or additions to structures shall be designed to compliment and enrich this character. Building component massing, materials, textures and colors shall be consistent with this character. All building elevations shall be of equal importance. Roofscape will be considered. Mechanical elements will be screened from view whenever possible. The Urban Design Commission shall approve plans for all new buildings, additions and exterior remodelings.
- 6. Screening. The Urban Design Commission in its review of plans for the district will concern itself with the height at time of planting, the spacing, height at maturity, and ability of proposed plant to screen throughout the year. Plans for all screening on private property within the area, when done in conjunction with major additions or new structures, will require Commission approval.
 - a. Off-Street Parking and Loading Areas. All open off-street parking areas containing more than three (3) spaces, and all open off-street loading shall have effective screening on each side adjoining or fronting on any residential property or any public or private street.
 - b. District Boundary Lines. Any property located in a commercial or manufacturing district shall have effective screening along lot lines adjoining any residence district.
 - c. Screening Materials. The Urban Design Commission recommends the use of the following methods or a combination thereof:
 - i. Earth Berms - can be used as a screen in such cases as the berm is well landscaped.
 - ii. Masonry Walls - when constructed in a manner and fashion that is consistent with the character of the development and its surrounding neighbors.
 - iii. Decorative Fences - when constructed in a manner and fashion that is consistent with the character of the development and its surrounding neighbors.
 - iv. Hedges - that are conducive to the natural elements of the area and which provide an effective screen the year round. At time of planting, they must be two (2) feet in height and be able to reach a mature height of five (5) feet.
 - d. Screening of Rubbish and Trash Storage. Such area shall be screened to block the view of such rubbish and trash containers from any point outside the property on which said storage area is located.

(Sec. 33.02(7) Cr. by Ord. 4850, 1-23-75)

COMMISSIONS

Sec. 33.02(7)(b)2.a.i.

- i. To illuminate building facades, especially those bearing business identification signs.
 - ii. To illuminate pedestrian walks and spaces.
 - iii. To illuminate parking and services areas.
- The choice, design, quantity and placement of on-site lighting shall relate to these functions and shall be evaluated by the Urban Design Commission in reviewing improvement plans. Lighting shall be adequate but not excessive.
- b. Utility Service. It shall be a goal of this District to eliminate overhead wiring within the area. To this end, owners of property within Urban Design District No. 1 working with Madison Gas and Electric Company, Wisconsin Telephone Company and Cable Television licensee shall, in all new developments and major additions, make provision for underground service. Whenever possible, this will be accomplished during building development and construction. When it is not possible, certification to the fact that provisions have been made for the placement of service underground signed by representatives of each company shall appear on plans submitted to the Urban Design Commission for review.
3. Signs.
 - a. The Urban Design Commission shall evaluate proposed signs in the area based upon the following:
 - i. Compatibility with their surroundings.
 - ii. Appropriateness to the type of activity to which they pertain.
 - iii. Expressiveness of the identity of individual proprietors or of the Urban Design areas as a whole.
 - iv. Legibility in the circumstances in which they are seen.
 - b. In this area, owners shall adhere to the following general design principles concerning signs:
 - i. Signs, if located on or adjacent to buildings shall be integrated with the architectural design of the buildings.
 - ii. Signs shall be located and designed to suit and inform the intended viewers, motorists, pedestrians and/or bicyclists.
 - iii. Signs shall give only the amount of information which can be absorbed by the viewer during the period of time which he will be viewing the sign.
 - iv. Signs shall not obliterate or impinge upon views or vistas, landscape features or significant structures.
 - c. The Urban Design Commission shall in addition evaluate proposed signs in the area based upon the requirements of Chapter 31 of the Madison General Ordinances.
 4. Parking and Service Areas.
 - a. The amount of parking and service areas to be provided in conjunction with any use shall conform to the requirements as set forth in Chapter 28 (Zoning Code) of the Madison General Ordinances.
 - b. Parking and service areas shall be screened from views from John Nolen Drive, frontage roads and from abutting properties. Screening shall be accomplished in a manner consistent with the requirements of Section 28.04 (12) of the Madison General Ordinances.

COMMISSIONS

Sec. 33.02(7)(b)1.

1. Site Planning.
 - a. Grading. In addition to insuring positive drainage consistent with established water run-off patterns in the area, grading should be utilized as a device for creating earth forms which add interest to the existing flat topography. The use of earth berms may be utilized as a means of screening out unpleasant views and accentuating pleasant views. Earth mounds should be used to reinforce the proposed landscape treatment. The creation of artificial topography should be accomplished in a professional manner to avoid an unnatural appearance.
 - b. Landscaping. The landscape treatment of public and private land in this area should meet the following objectives:
 - i. It should serve functional purposes including the visual unification of disparate land uses, framing of desirable views and screening of unattractive features and views along the roadway.
 - ii. It should be expressive of the unique natural landscape of Madison, and particularly of the lowland landscape which characterizes the area. To this end, the use of the following plant species as a basic theme for planting plans is recommended:

<u>TREES</u>	<u>SHRUBS</u>
River Birch	Pedicular Dogwood
Black Willow	Silky Dogwood
Swamp White Oak	Elderberry
Tamarack	Willow
White Cedar	Alder
Red Maple	Button Bush
 - c. Building Relationships. In the siting of new structures, consideration shall be given to:
 - i. Retaining desirable vegetation.
 - ii. Relating attractively to abutting roadways, the Nob Hill Interchange, and to the Lake.
 - iii. Recognizing views of the City skyline, the Lake and Expo Center.
 - iv. Providing landscape treatment for open areas which are highly visible from John Nolen Drive and compliment the building forms.
2. Lighting. The Urban Design Commission in its review of plans for the area will concern itself with the height and number of light standards used as well as the design of the fixtures. Plans for all exterior lighting on private property within the area will require Commission approval.
 - a. Exterior Lighting of Private Property. The functions of exterior lighting on private properties shall be:

Sec. 33.02(6)(a)2.

COMMISSIONS

2. Facades of new structures should maintain a compatible relationship with those of existing structures in terms of:
 - a. Windowsill or header lines.
 - b. Proportion and rhythm of window and door openings.
 - c. Horizontal or vertical emphasis of major building elements.
 - d. Extent of architectural detail.
 - e. Presence of porches.
3. Building materials which, in appearance, are similar or compatible to those used on the exteriors of existing structures in the area should be used.
4. Roof slope and orientation should be similar to others in the immediate area.
5. Front setback variations will be required and shall be part of the Urban Design Commission's review, findings and recommendations.

(Cr. by Ord. 8516, 2-4-85)

- (7) Urban Design District No. 1. (Title Am. by Ord. 5115, 9-3-75)

(a) Statement of Purpose. The Urban Design District No. 1 is hereby established to make John Nolen Drive and adjacent properties, as set forth on the map hereinafter together with all information shown thereon and all amendments thereto, between Nob Hill Interchange and the Central Business District, a most visually attractive approach to Downtown Madison and to establish guidelines for aesthetically pleasing future development. Design guidelines and criteria are therefore hereby established to assist area property owners and the State of Wisconsin, City of Madison, Dane County and the Chicago, Milwaukee, St. Paul and Pacific Railway in improving and developing all properties within this area. In addition, the District is designed to foster a sense of personal and civic pride among the property owners, particularly as it relates to the appearance of their area, and the corresponding promotion of the commercial enterprises therein.

The applicable regulations of other codes shall continue to apply with full force and effect to all properties in the above area. However, should the guidelines of this code conflict with other City regulations, the guidelines herein shall control.

The Urban Design Commission shall review and prepare recommendations for the Plan Commission on all major exterior alterations of existing properties and new development within Urban Design District Number One, except for those existing one- and two-family detached dwellings which continue in their present use.

(Sec. 33.02(7)(a) Am. by Ord. 8258, 2-20-84)

- (b) Basis for Design Review. In reviewing plans for the improvement of existing facilities or for new development within the area, the Urban Design Commission shall consider the following:

Sec. 33.02(6)(a)2.

COMMISSIONS

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COMMISSIONS

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COMMISSIONS

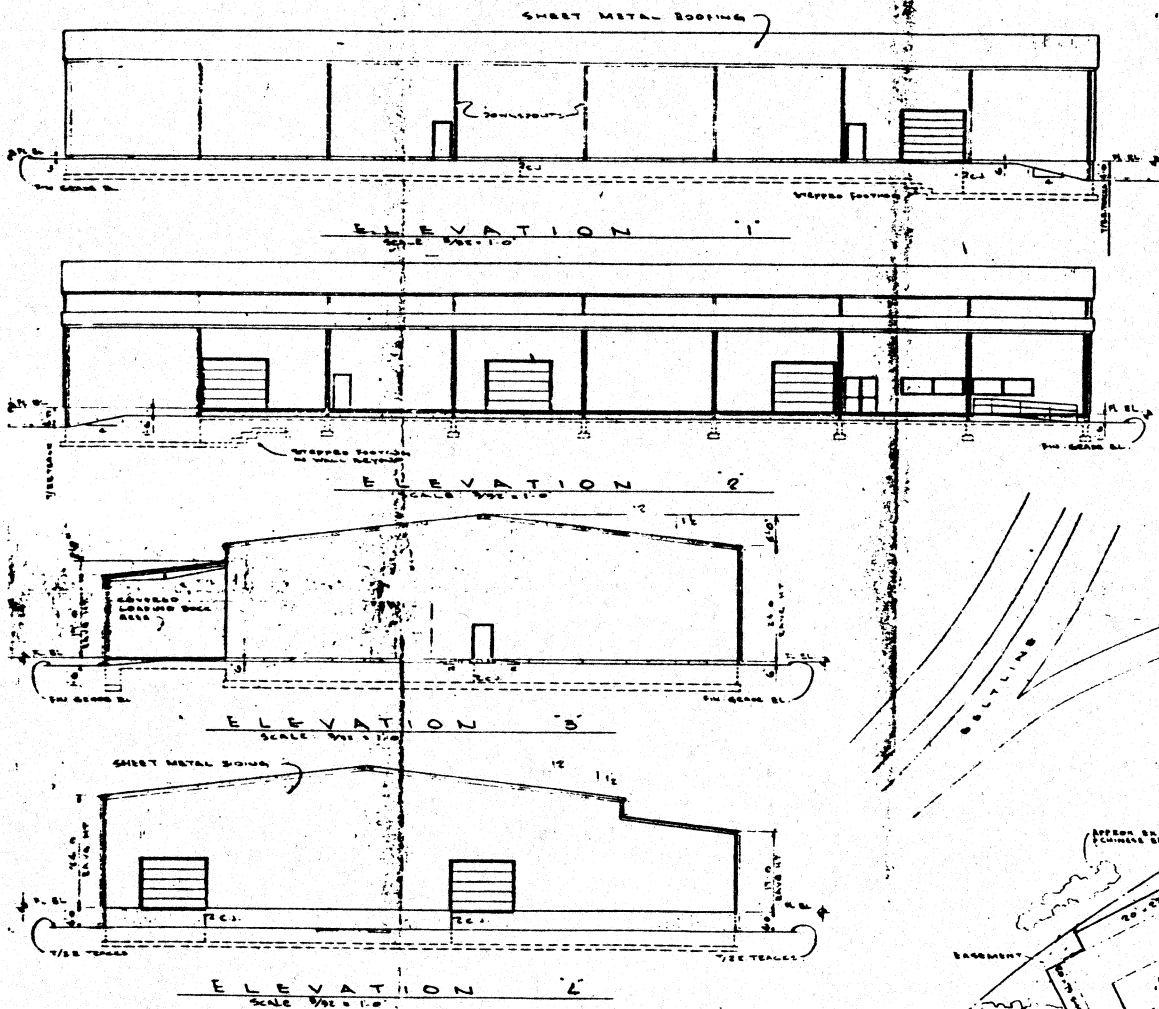
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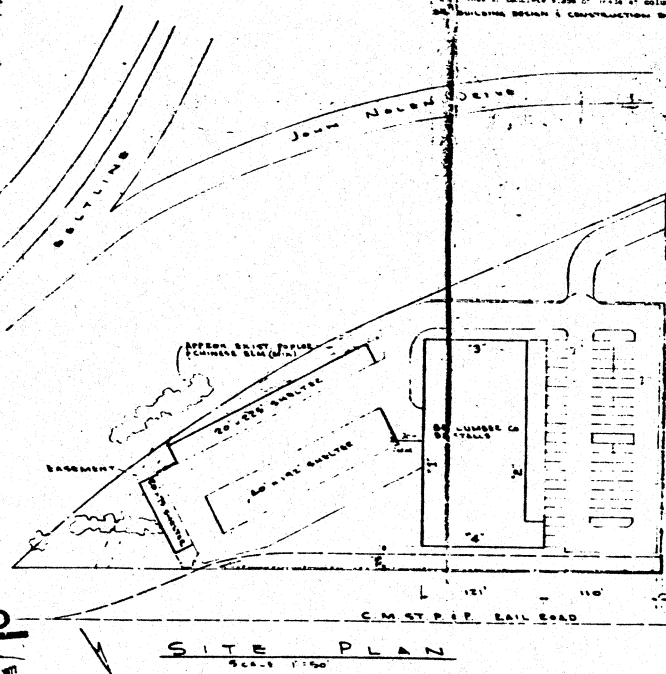
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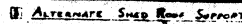
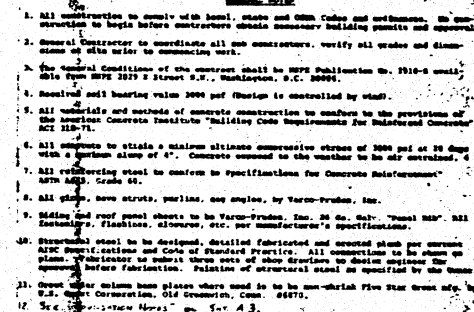


DESIGNER'S
Conditionally
APPROVED
7/1/00



SITE PLAN
SCALE 1/8" = 1'-0"

- GENERAL NOTES**
- All construction to comply with local, state and federal codes and ordinances, in addition to be in accordance with the Building Code of the City of Madison, Wisconsin.
 - General Contractor to coordinate all sub-contractors, verify all grades and slopes at site prior to commencing work.
 - The General Conditions of the contract shall be those published by the Wisconsin State Board of Building and Construction, 1916-17, and the 1928, 1931, 1934, 1937, 1940, 1943, 1946, 1949, 1952, 1955, 1958, 1961, 1964, 1967, 1970, 1973, 1976, 1979, 1982, 1985, 1988, 1991, 1994, 1997, 2000, 2003, 2006, 2009, 2012, 2015, 2018, 2021, 2024, 2027, 2030, 2033, 2036, 2039, 2042, 2045, 2048, 2051, 2054, 2057, 2060, 2063, 2066, 2069, 2072, 2075, 2078, 2081, 2084, 2087, 2090, 2093, 2096, 2099, 2102, 2105, 2108, 2111, 2114, 2117, 2120, 2123, 2126, 2129, 2132, 2135, 2138, 2141, 2144, 2147, 2150, 2153, 2156, 2159, 2162, 2165, 2168, 2171, 2174, 2177, 2180, 2183, 2186, 2189, 2192, 2195, 2198, 2201, 2204, 2207, 2210, 2213, 2216, 2219, 2222, 2225, 2228, 2231, 2234, 2237, 2240, 2243, 2246, 2249, 2252, 2255, 2258, 2261, 2264, 2267, 2270, 2273, 2276, 2279, 2282, 2285, 2288, 2291, 2294, 2297, 2300, 2303, 2306, 2309, 2312, 2315, 2318, 2321, 2324, 2327, 2330, 2333, 2336, 2339, 2342, 2345, 2348, 2351, 2354, 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TYPICAL SECTION

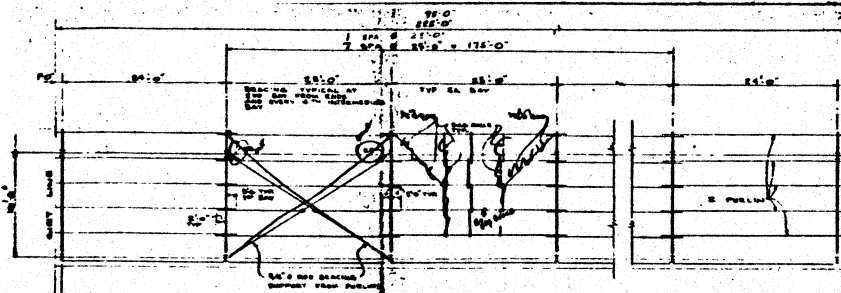
W12 & W14 BASE ②



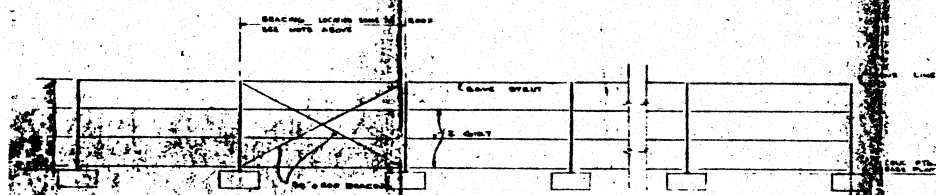
ATTENTION

4436

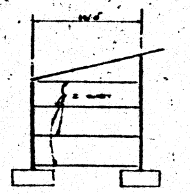
PROJECT
84 LUMBER
STYLE : POLE TYPE
LUMBER SAE
TITLE
PLAN SECTION / DETAIL
COMPUTERIZED
STRUCTURAL
DESIGN INC.
PO. BOX 87-100
CONSTRUCTION ENGINEERING
AND ARCHITECTURE
P.O. BOX 87-100



TYP. ROOF FRAMING PLAN

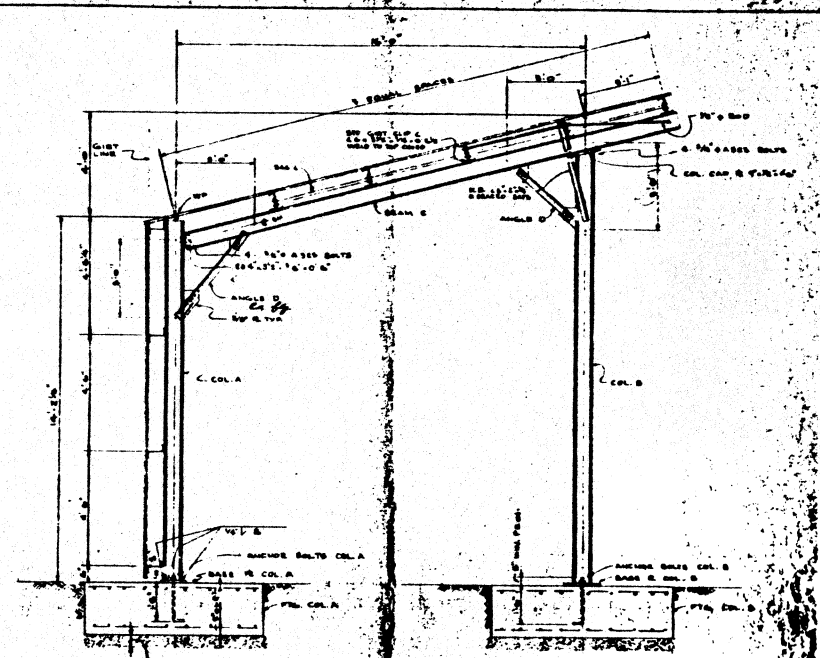


TYP. ELEVATION FRAMING



SIDE ELEVATION FRAMING

- GENERAL NOTES**
1. All construction to comply with local, state and FEMA Codes and ordinances. No construction to begin before contractors obtain necessary building permits and approvals.
 2. General Contractor to coordinate all sub contractors, verify all plans and dimensions at site prior to commencing work.
 3. The General Conditions of the contract shall be NFPA Publication No. 310-1 available from NFPA 2219 N Street N.W., Washington, D.C. 20005.
 4. Required soil bearing value 2000 psf (Design to be controlled by wind).
 5. All materials and methods of concrete construction to conform to the provisions of the American Concrete Institute "Building Code Requirements for Reinforced Concrete" ACI 318-71.
 6. All concrete to attain a minimum ultimate compressive strength of 3000 psi at 28 days with a maximum slump of 6". Concrete exposed to the weather to be air entrained, 1 - 40.
 7. All reinforcing steel to conform to Specifications for Concrete Reinforcement: ASTM A615, Grade 60.
 8. All girts, purlins, rafters, and joists, by Varco-Pruden, Inc.
 9. Siding and roof board sheathing to be Varco-Pruden, Inc. 30 lb. Min. "Panel B10". All fasteners, flashings, closures, etc. per manufacturer's specifications.
 10. Structural steel to be designed, detailed fabricated and erected along per current AISC Specifications and Code of Standard Practice. All connections to be shown on plans. Fabricator to submit three sets of shop drawings to design engineer for approval before fabrication. Painting of structural steel as specified by the Owner.
 11. Girts under column base plates shall be used to be non-shrink Fire Stop grout etc. by U.S. Gypsum Corporation, 110 Greenwich, Conn. 06870.
 12. See FOUNDATION NOTES on Set A-3.



TYPICAL CROSS SECTION

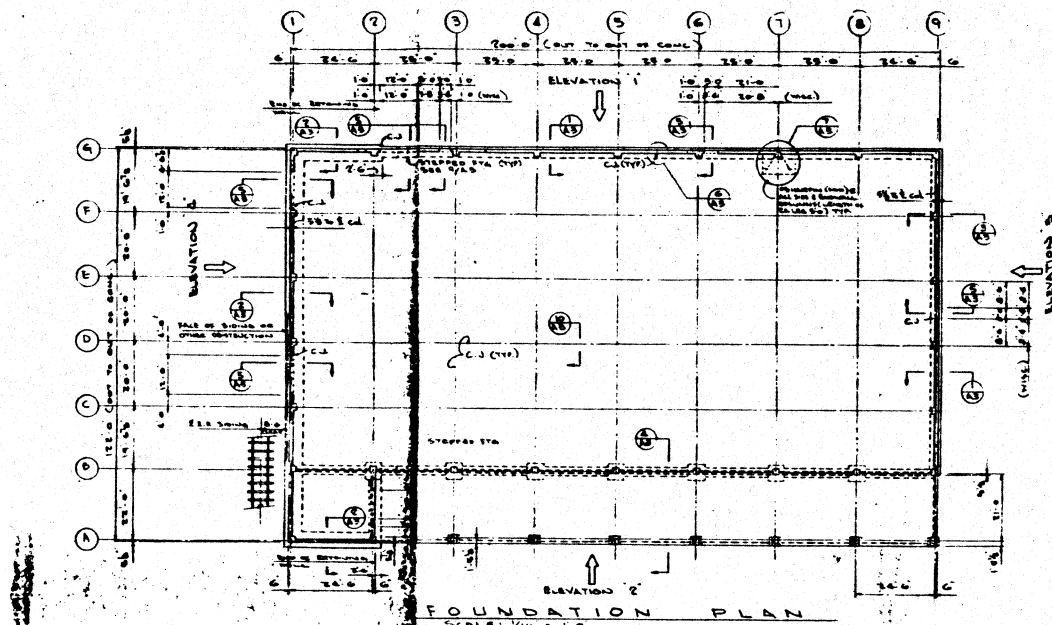
SECTION

CLIPPING A-B	W 10 x 33
CLIPPING C	W 10 x 33
CLIPPING D	W 10 x 33
CLIPPING E	W 10 x 33
CLIPPING F	W 10 x 33
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CLIPPING H	W 10 x 33
CLIPPING I	W 10 x 33
CLIPPING J	W 10 x 33
CLIPPING K	W 10 x 33
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CLIPPING T	W 10 x 33
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CLIPPING V	W 10 x 33
CLIPPING W	W 10 x 33
CLIPPING X	W 10 x 33
CLIPPING Y	W 10 x 33
CLIPPING Z	W 10 x 33

PROJECT:
66 LUMBER
57.1: FRAMED TYPE
LUMBER SHED

FOR:
MILWAUKEE, WISCONSIN

COMPUTERIZED
STRUCTURAL
DESIGN, INC.
TEL: 442-8110
CONSULTING ENGINEERS
800 EAST MICHIGAN ST.
MILWAUKEE, WISCONSIN 53212



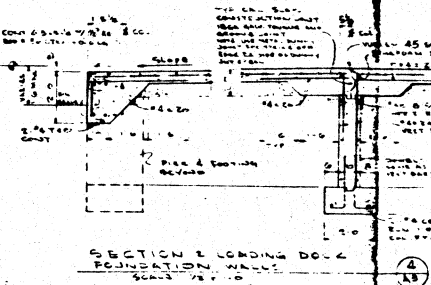
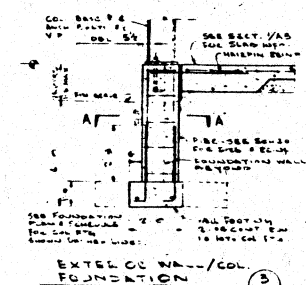
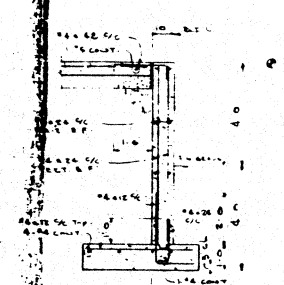
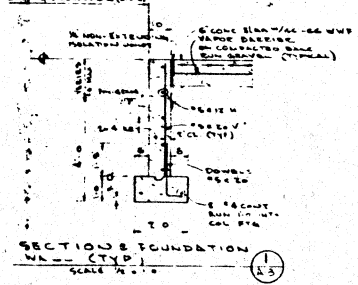
FOUNDATION NOTES:

EXIST. BLDG. SITES AT ELEV. 25.6 TO 28.0
 BACKFILL WITH SUITABLE GRANULAR
 MATERIAL AND COMPACTED IN 6" TO 8" THIN
 MAXIMUM LIFTS. TO A FINISHED SURFACE
 OF 11.75 FT. FOUNDATIONS TO BE EXCAVATED
 TO DEPTHS SHOWN ON PLAN. DIRECT FOUNDATION
 DRAINAGE AREA TO BE COMPACTED WITH A
 BACKHOE MOUNTED MECHANICAL VIBRATOR
 BEFORE POURING CONCRETE.

- GENERAL NOTES:**
- 1- ALLOWABLE SOIL BEARING VALUE = 2000 P.S.F.
 - 2- WALL FOOTING GENERALLY PROVIDES FOUNDATION FOR LATERAL COLUMN MOMENTS UNLESS NOTED IN FOUNDATION SCHEDULES BELOW.
 - 3- INDIVIDUAL COLUMN WALL FOOTINGS TO HAVE 18" B.C. DOWELS TO SAME SITE AND SPACING TO SPACE WITH VERTICAL PEE REINFORCING.
 - 4- PROVIDE AND INSTALL ALL NECESSARY PIPE SLEEVES AND JOINTS. SEE VALCO-SECTION DRAWINGS FOR ALL ANCHOR BOLT SETTINGS AND CONCRETE DETAILS.
 - 5- SEE GENERAL NOTES ON SHEET A1.

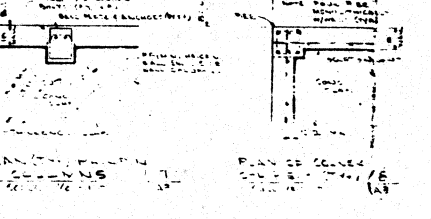
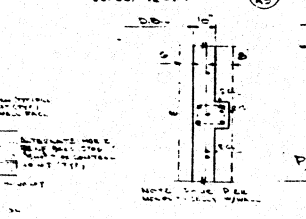
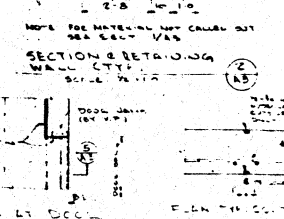
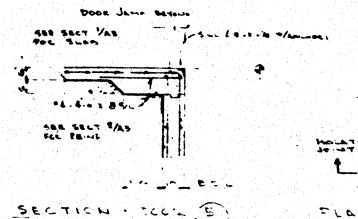
FOUNDATION SCHEDULE

COL. NO.	FOOTING	WALL	ALLOWABLE SOIL BEARING VALUE
1-2	18" B.C. WALL	18" B.C. WALL	2000 P.S.F.
3-4	18" B.C. WALL	18" B.C. WALL	2000 P.S.F.
5-6	18" B.C. WALL	18" B.C. WALL	2000 P.S.F.
7-8	18" B.C. WALL	18" B.C. WALL	2000 P.S.F.
9	18" B.C. WALL	18" B.C. WALL	2000 P.S.F.



REINFORCING SCHEDULE

ITEM	REINFORCING
1-2	6" VERT. REINFORCING
3-4	6" VERT. REINFORCING
5-6	6" VERT. REINFORCING
7-8	6" VERT. REINFORCING
9	6" VERT. REINFORCING



SECTION 9 TYPICAL

REINFORCING SCHEDULE

1-2 6" VERT. REINFORCING

3-4 6" VERT. REINFORCING

5-6 6" VERT. REINFORCING

7-8 6" VERT. REINFORCING

9 6" VERT. REINFORCING

SELECTED NUMBER WAREHOUSE
 1-2 6" VERT. REINFORCING
 3-4 6" VERT. REINFORCING
 5-6 6" VERT. REINFORCING
 7-8 6" VERT. REINFORCING
 9 6" VERT. REINFORCING

APPENDIX

TIMETABLE FOR BELTLINE RECONSTRUCTION

MAJOR CONTRACTS **



KEY	SECTION (TITLE)	DESCRIPTION	LATE 1985	1986	1987	1988	1989
①	SOUTH TOWNE DRIVE TO YAHARA RIVER	Construct freeway embankment and restore wetlands between South Towne and river and in areas west of USH 51.	Grading, Wetland Reconstruction, Base				
②	YAHARA RIVER STRUCTURES	Construct a pair of 2600-foot long bridges over the Yahara River (B wetlands) & construct east fill approaches.		Grading, Structures			
③	USH 51 (VOGES ROAD TO PFLAUM ROAD)	Reconstruct USH 51 to accommodate future interchange ramps and to intersect at-grade with existing Beltline.		Grading, Base, Structure, P.C.C. Pavement			
④	PEDESTRIAN OVERPASS	Construct a pedestrian/bicycle overpass (over Beltline) between frontage roads east of Park Street.		Structure			
⑤	YAHARA RIVER TO I.H. 90	Grade freeway and ramps between Yahara River and I.H. 90. Build box culverts and complete wetland restoration.			Grading, Wetland Reconstruction, Structures		
⑥	JOHN NOLEN DRIVE TO SOUTH TOWNE DRIVE	Construct freeway, South Towne Drive interchange, connecting streets and frontage roads within this section.			Grading, Base, Structure, Bit. Conc. & P.C.C. Pavement		
⑦	RIMROCK ROAD BRIDGE	Construct a new bridge for future south bound Rimrock Road.			Structure		
⑧	MONONA DRIVE AND USH 51 BRIDGES	Construct new freeway bridges over Monona Drive and over USH 51.			Structures		
⑨	RIMROCK ROAD INTERCHANGE	Construct Rimrock Road interchange and connecting streets. Reconstruct existing bridge for northbound roadway.			Grading, Base, Structure, Conc. & P.C.C. Pavement		OPEN FREEWAY between John Nolen Drive & I.H. 90
⑩	JOHN NOLEN DRIVE TO I.H. 90	Place pavement for new Beltline within this section.			Base, P.C.C. Pavement		
⑪	JOHN NOLEN DRIVE STRUCTURES	Reconstruct Beltline bridges over John Nolen Drive.				Structures	
⑫	JOHN NOLEN DRIVE TO I.H. 90	Sign bridges, fencing, lighting and pavement marking.			Sign Bridges and Incidentals		
⑬	FISH HATCHERY ROAD TO I.H. 90	Tree and shrubbery plantings.				Landscaping	
⑭	BROADWAY AVENUE (FAYETTE RD. - USH 51)	Resurface existing Beltline prior to "turnover" to local units of government.				Bit. Conc. Pavement	
⑮	FISH HATCHERY ROAD TO I.H. 90	Add third lane and reconstruct pavement within this section. Also, widen existing bridges over USH 14 & R.R.				Grading, Base, Structures, P.C.C. Pavement, Incidentals	

** Other contract work such as Interim Lighting (1206-02-98) between Ethelwyn Road and Hoboken Road and project Utility Relocations (I.D. 1206-02-41 thru 49, 60 & 64 thru 69) not illustrated.

Note: Real Estate for the project is divided into several sections:
 Plat No. 1 (I.D. 1206-02-27) South Towne Drive to Monona Drive
 Plat No. 2 (I.D. 1206-02-33) Badger Lane to South Towne Drive
 Plat No. 3 (I.D. 1206-02-31) Monona Drive to I.H. 90
 Plat No. 4 (I.D. 1206-03-24) Fish Hatchery Road to Badger Lane
 Prior R/W Plats (I.D. 1206-02-25, 26 & 1206-03-23)

OPEN FREEWAY
 between Fish Hatchery
 Road & John Nolen Drive

APPENDIX

SOURCES OF INFORMATION FOR
SITE ANALYSIS OF 1102 JOHN NOLEN DRIVE
MADISON, WISCONSIN

UTILITIES

Gas and Electricity

Madison Gas and Electric Co. (608) 252-7222
(608) 252-7262

Water

Madison Water Utility - Jim Blotz (608) 266-4646

Storm Sewer

City of Madison Engineering
- Gary Dahlman (608) 266-4751

Sanitary Sewer

City of Madison Engineering
- Jim Richard (608) 266-4059

LAND USE REGULATION

Zoning

City of Madison - George Curran (608) 266-4569

Urban Design Commission

- Mr. Kleckner (608) 266-4635

Water Regulation and Zoning

Department of Natural Resources
- Mike Dreiser (608) 266-8032
- Dick Knitter (608) 266-8032
- Bob Hansis (608) 275-3304

ASSESSMENTS

City of Madison Assessor (608) 266-4531

RAILROAD

State Division of Facilities Management

- Bob Lehman (608) 266-1977

State Department of Transportation

- James Thiel - Attorney (608) 266-8810

Wisconsin and Calumet Short Line

- Gunner Bergerson (414) 754-3630

Chicago, Milwaukee, St. Paul and Pacific
now CMC Real Estate Corp

- James Bolitho (312) 294-0475

SOILS

Soils and Engineering Services, Inc.

Completed soil tests
on site - 1977 (608) 274-7600

Wes Zulty

Former owner of site (608) 231-4500

Mead and Hunt, Inc.

- Terry Kennedy - Engineer (608) 233-9706
- Supercharged a portion of
soils on and near site of
Wes Zulty's sports store

APPENDIX

LOGIC OF BACK-DOOR ANALYSIS
METHODOLOGY
DEBT COVER RATIO APPROACH

